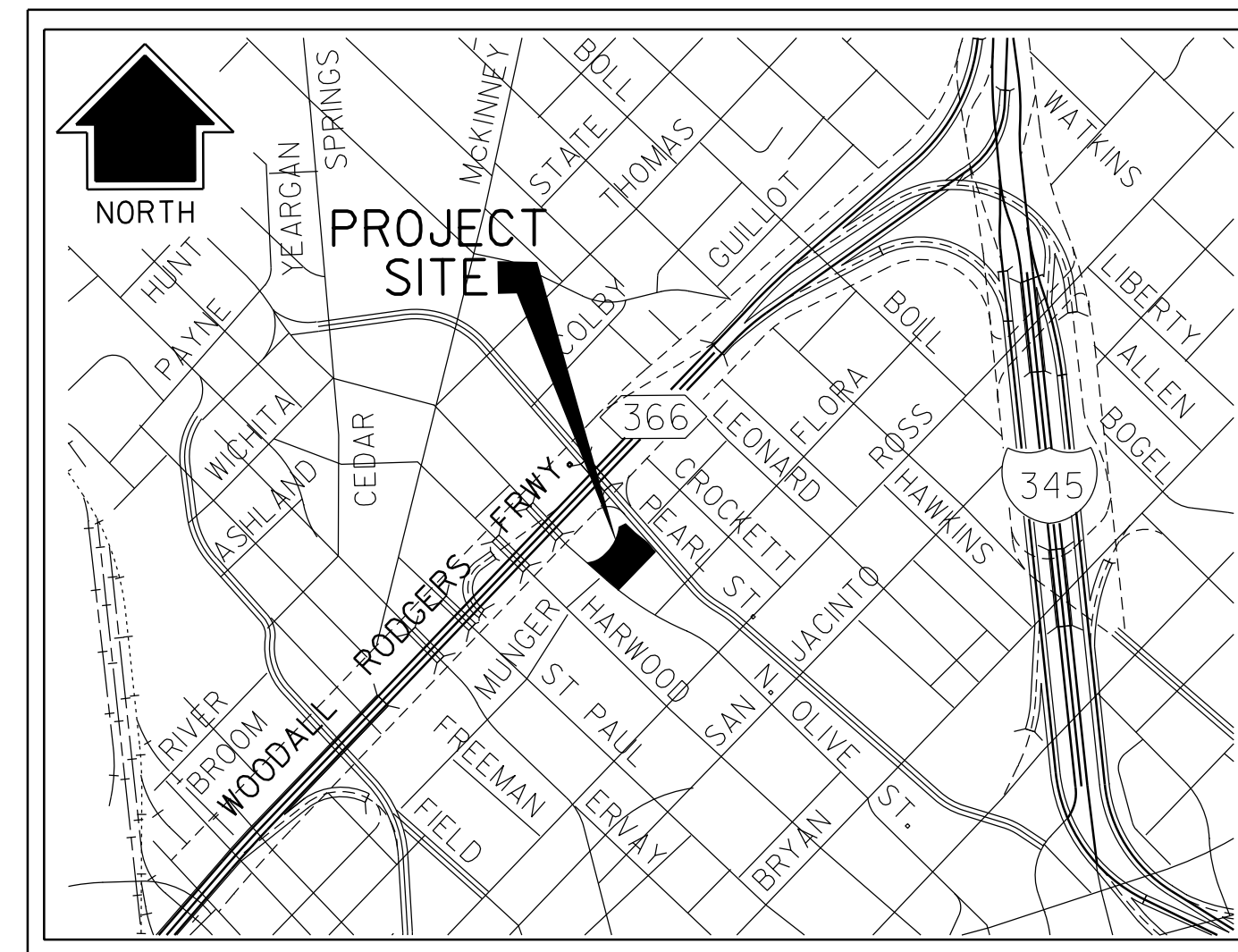


PAVING, DRAINAGE AND UTILITY IMPROVEMENTS

FOR ATELIER TOWER BLOCK 528, TRACT II

2121 FLORA STREET
DALLAS, TEXAS 75201

311T-8854



LOCATION MAP
NOT TO SCALE
MAPSCO 45-K

SHEET INDEX		REVISION (11-14-2016)	REVISION (07-28-2017)
SHEET #	SHEET NAME		
	COVER SHEET	RTF1	RTF2
	GENERAL NOTES		RTF2
1 of 2	ALTA/ACSM LAND TITLE SURVEY		
2 of 2	ALTA/ACSM LAND TITLE SURVEY		
C1.01	SURVEY CONTROL PLAN		
C1.02	EXISTING ELEVATIONS AND DEMOLITION PLAN	RTF1	RTF2
C2.01	OVERALL PAVING PLAN	RTF1	RTF2
C2.02	PEARL ST. PAVING PLAN	RTF1	RTF2
C2.03	OLIVE ST. PAVING PLAN	RTF1	RTF2
C2.04	FLORA ST. PAVING PLAN	RTF1	RTF2
C3.01	GRADING PLAN	RTF1	RTF2
C4.01	EXISTING DRAINAGE AREA MAP		RTF2
C4.02	PROPOSED DRAINAGE AREA MAP		RTF2
C4.03	STORM DRAINAGE PLAN & PROFILE	RTF1	RTF2
C4.04	STORM DRAINAGE PLAN & PROFILE	RTF1	RTF2
C5.01	WWTR RELOCATION		
C5.02	UTILITY PROFILES		
C6.01	EROSION CONTROL PLAN	RTF1	RTF2
C6.02	EROSION CONTROL NOTES & DETAILS		

CITY OF DALLAS REFERENCE SHEET INDEX	
SHEET #	SHEET NAME
351D-390, SH.10	PERIMETER DRAINAGE AREA MAP
311D-3133, SH.26	DRAINAGE PLAN
311D-3133, SH.44	CORNER PLAN ENLARGEMENT
311D-3133, SH.59	PAVEMENT DETAILS
311D-3133, SH.60	PAVEMENT DETAILS

OWNER / DEVELOPER

ZOM TEXAS, INC.
3400 CARLISLE STREET, SUITE 500
DALLAS, TEXAS 75204
DAVID KUBIN
dtk@zomusa.com

CIVIL

HALFF ASSOCIATES, INC.
1201 N. BOWSER ROAD
RICHARDSON TEXAS 75081
214.346.6200
DAVID LITTLETON, P.E.
dlittleton@halff.com



1201 NORTH BOWSER ROAD
RICHARDSON, TEXAS 75081-2275
TEL (214) 346-6200
FAX (214) 739-0095
TBPE FIRM# F-312



THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY B. DAVID LITTLETON, P.E. #62128 ON 04-27-2016. ALTERATION OF A SEALED DOCUMENT WITHOUT PROPER NOTIFICATION TO THE RESPONSIBLE ENGINEER IS AN OFFENSE UNDER THE TEXAS ENGINEERING PRACTICE ACT. THE RECORD COPY OF THIS DRAWING IS ON FILE AT THE OFFICES OF HALFF ASSOCIATES, INC. 1201 NORTH BOWSER ROAD, RICHARDSON, TEXAS 75081 TBPE FIRM #F-312

REVISION TABLE		
NUMBER	DESCRIPTION	DATE
1	Site plan changes	11/14/2016
2	Mobility and Street Services comments	07/28/2017

CITY OF DALLAS 311T-8854

GENERAL NOTES:

- Contractor is responsible for, and must obtain prior to construction, all necessary construction permits required by the City of Dallas.
- All construction shall conform to the requirements of the City of Dallas and shall be in accordance with the standard specifications of this project, and the Fourth Edition of the "Standard Specifications for Public Works Construction - North Central Texas" herein referred to as "COG" specifications, as amended by the applicable portions of the City of Dallas Department of Public Works Addendum to North Central Texas Standard Specifications for Public Works Construction (October, 2011). Copies may be obtained from the North Central Texas Council of Governments, 616 Six Flags Drive, Suite 200, Arlington, Texas 76005-5888. (817) 640-330 and TXDOT 2004 Specifications for Construction and Maintenance of Highways, Streets and Bridges.
- All street cut repairs shall conform to the City of Dallas Pavement Cut and Repair Standards Manual, Department of Public Works and Transportation, dated October 2003.
- City of Dallas Department of Public Works Standard Construction Details (File 251D-1) referenced within these plans can be found on the City of Dallas website (http://www.dallascityhall.com/pwt/pdf/standards_251D-1_signatures.pdf)
- The Contractor shall abide by all applicable federal, state, and local laws governing excavation. The Contractor shall provide detailed plans and specifications for trench safety systems that comply with applicable laws governing excavation. These plans shall be sealed by an Engineer experienced in the design of trench safety systems and licensed by the State of Texas. Submit plan to the Owner prior to commencing work. The Contractor shall be solely responsible for all aspects of work related to excavation.
- Existing utility locations shown are taken from available records provided by the utility Owner and field locations of surface appurtenances. Locations shown are generally schematic in nature and may not accurately reflect the size and location of each particular utility. Some utility lines may not be shown. Contractor shall assume responsibility for actual field location and protection of existing facilities whether shown or not. Contractor shall also assume responsibility for repairs to existing facilities, whether shown or not, damaged by contractor's activities. Differences in horizontal or vertical location of existing utilities shall not be a basis for additional expense.
- Contractor shall locate and adjust existing utility manhole lids, cleanouts, water valves and other surface appurtenances as required for new construction. Contractor shall coordinate utility adjustments with other disciplines and the appropriate utility agencies and provide for all fees for permits, connections, inspections, etc. These adjustments shall be considered incidental to the construction contract.
- The Contractor shall protect existing property monumentation and primary control. Any such points which the Contractor believes will be destroyed shall have offset points established by the Contractor prior to construction. Any monumentation destroyed by the Contractor shall be reestablished at his expense.
- Barricading and traffic control during construction shall be the responsibility of the Contractor and shall conform to the latest edition of the "Texas Manual on Uniform Traffic Control Devices", Part VI in particular. Traffic flow and access shall be maintained during all phases of the construction. The Contractor is responsible for providing traffic safety measures for work on project.
- Onsite planimetric and topographic mapping, and boundary data taken from survey performed by Half Associates, Inc. dated March 2013. Offsite planimetric and topographic information taken from survey performed by Half Associates, Inc., dated May 2015. SUE mapping data taken from survey performed by Half Associates, Inc. dated May 2015.
- Any damages that may occur to real property or existing improvements shall be restored by the Contractor to at least the same condition that the real property or existing improvements were in prior to the damages. This restoration shall be subject to the Owner's approval; moreover, this restoration shall not be a basis for additional compensation to the Contractor. Restoration shall include, but not be limited to, regrading, revegetation, replacing fences, replacing trees, etc.
- It shall be the responsibility of the Contractor to:
 - Prevent any damage to private property and property owner's poles, fences, shrubs, etc.
 - Provide access to all drives during construction.
 - Protect all underground utilities to remain in service.
 - Notify all utility companies and verify location of all utilities prior to start of construction.
- Contractor shall maintain positive drainage at all time during construction. Ponding of water in streets, drives, truck courts, trenches, etc. will not be allowed.
- Contractor shall maintain existing sanitary sewer and water service at all times during construction.
- Contractor is responsible for coordination with utility companies and adjustment of existing sanitary sewer cleanouts, water meters and any other appurtenances to new grade as required.
- Pavement removal and repair shall conform to the City of Dallas requirements. All sawcuts shall be full depth cuts. Contractor shall make efforts to protect concrete and/or asphalt edges. Any large spalled or broken edges shall be removed by sawcutting pavement prior to replacement.

EROSION CONTROL NOTES:

- Refer to the Erosion Control Sheets, sheets C6.01 and C6.02 for Erosion Control notes.

DEMOLITION NOTES:

- For additional extents for demolition, refer to grading, storm drainage, paving, and dimension control, water and sanitary sewer plans.
- Information provided on this plan does not delineate any underground foundation or objects that currently may be covered.
- The contractor shall be responsible for proper removal and disposal of materials as required by the Owner or Owner's representative.

GRADING NOTES:

- No grading or earthwork shall commence until filing of a Notice of Intent to the Texas Commission of Environmental Quality (TCEQ) if applicable and Implementation of the Storm water Pollution Prevention Plan by the Contractor. A site erosion control plan and stormwater pollution prevention plan shall be prepared and provided to the City of Dallas by others prior to start of construction.
- The existing ground surface shall be stripped of vegetation, roots, old construction debris, and other organic materials. Material unsuitable for fill shall be removed from the site and properly disposed of.
- The subgrade should be firm and able to support the construction equipment without displacement. Soft or yielding subgrade should be corrected and made stable before construction proceeds. The subgrade shall be proof rolled using a heavy pneumatic tire roller, loaded dump truck or similar piece of heavy equipment.
- All areas to receive fill shall be stripped of vegetation and the top six (6) inches scarified prior to receiving any fill. Fill material shall be placed in loose lifts not exceeding 8-inches in uncompacted thickness. The fill material shall be uniform with respect to material type and moisture content. Clods and chunks of material shall be broken down and the fill material mixed by disking, blading, or plowing, as necessary, so that a material of uniform moisture and density is obtained for each lift. Water required to bring the fill material to the proper moisture content should be sprinkled evenly through each layer.
- The fill material shall be compacted between to at least 95 percent of the maximum dry density as determined by the Standard Proctor test, ASTM D 698. In conjunction with the compacting operation, the fill material shall be brought to the proper moisture content. The moisture content of the compacted soils should be maintained between -2 and +2 percent of the optimum value (determined from ASTM D 698). Refer to the Project Geotechnical Report.
- The Contractor shall administer sprinklers for dust control, earthwork or base construction as required or as directed by the Engineer in accordance with the TXDOT Standard Specification for Construction, Item 204-Sprinklering.
- Contractor's work shall include pavement removal and disposal required for new walk, drive, curb, gutter and other grading features. Contractor shall be responsible for all coordination, inspection and testing required by the Owner and/or the City of Dallas.
- All sidewalks shall maintain 2% cross slope maximum. Longitudinal slopes along sidewalks and accessible routes shall not exceed 5% in the direction of travel. Slopes within designated handicap parking or loading areas shall not exceed 2% in any direction.
- Site grading and pavement subgrade shall be prepared in accordance with the Geotechnical Report No.19:6529 prepared by ECS Texas, LLP, dated April 24, 2015.
- Proposed spot elevations represent gutter elevation unless noted otherwise.

STORM DRIANAGE NOTES:

- GENERAL:
 - All construction shall conform to the requirements of the City of Dallas and shall be in accordance with the standard specifications of this project, and the Fourth Edition of the "Standard Specifications for Public Works Construction - North Central Texas" herein referred to as "COG" specifications. Copies may be obtained from the North Central Texas Council of Governments, 616 Six Flags Drive, Suite 200, Arlington, Texas 76005-5888. (817) 640-3300.
 - All RCP wyes and bends shall be prefabricated by the pipe manufacturer.
 - Construct concrete collar at all pipe size change locations.
- CLOSED CONDUITS:
 - Closed conduits shall be installed per COG Item 508 specifications.
 - Only Reinforced Concrete Pipe (RCP) is approved for use.
 - Class IV RCP shall be used where the pipe cover is greater than 1 foot and less than 3 feet. Class III RCP shall be used when the pipe cover is from 2 feet to 6 feet. The Class of all other RCP shall be determined by an Engineer per Loads and Supporting Strengths, American Concrete Pipe Association.
 - For pipes, embedment shall be Class B per COG Item 504.5.2.3.
 - The contractor shall seal all joints on closed conduits with Omni-Flex joint seals, or equal; unless approved otherwise by the engineer.
 - The minimum size for laterals is 18 inches in diameter. The minimum size for mains is 24 inches in diameter.
- CONCRETE FOR PRE-CAST PRODUCTS:
 - All concrete to be used in pre-cast products for drainage structures shall come from plants certified by the National Pre-cast Concrete Association.
- CONCRETE:
 - Concrete shall be made with a minimum of 5 sacks of cement and have a minimum compressive strength of 3,000 PSI at 28 days, unless noted otherwise.
 - All reinforcing steel shall be new, neat, billet-steel per ASTM designation A-615, Grade 60, and shall be detailed and placed for ACI Manuals SP-88 and 318, latest additions. All reinforcing steel shall have minimum 15 inch lap splices, unless noted otherwise on the plans.
 - The Contractor shall use a liquid membrane-forming curing compound per COG Item 303.2.13.1.1.
 - All exposed surfaces shall have 3/4 -inch chamfer.
- TESTING:
 - All closed conduits shall be Television Inspected per City of Dallas specifications.

PAVING NOTES:

- Pavement removal and repair shall conform to City of Dallas requirements. All sawcuts shall be full depth cuts. Contractor shall make efforts to protect concrete and/or asphalt edges. Any large spalled or broken edges shall be removed by sawcutting pavement prior to replacement.
- Contractor's work shall include pavement removal and disposal required for new walk, drive, curb, gutter and other paving features. Contractor shall be responsible for all coordination, inspection and testing required by the Owner and/or the City of Dallas.
- Concrete for all concrete pavement and curbs shall be Class "Machine Finish" 4000 PSI of Class "Hand Finished" 4500 PSI per City of Dallas Department of Public Works Addendum to North Central Texas Standard Specifications for Public Works Construction (October, 2011).
- Concrete paving joints shall be constructed as recommended in the geotechnical report noted below. Expansion joints shall be placed at changes in direction of paving, at driveways and/or as shown on the drawings. Seal all joints as shown on the drawings.
- Paving sections shall be sawcut in 15' x15' squares.
- Site grading and pavement subgrade shall be prepared in accordance with the Geotechnical Report No.19:6529 prepared by ECS Texas, LLP, dated April 24, 2015.
- Unless otherwise indicated on plans, all dimensions are to face of curb or face of building and are perpendicular to property line. These dimensions are provided to tie the Architect's Site Plan to the property lines.
- All sidewalks and handicap parking areas shall meet current ADA standards for minimum and maximum slopes.

PRIVATE WATER AND SANITARY SEWER NOTES:

- All materials and workmanship for private utility construction shall conform to the Standard Specifications for Public Works Construction for North Central Texas, latest edition, and the City of Dallas requirements.
- Pipe material for water lines shall conform to the notes shown on this drawing and to requirements of the project specifications. Water line for fire service shall be C900 PVC, DR 14 Class 200, Water lines for domestic use shall be Type 'K' Copper from tap to meter and copper or AWWA C900 PVC.
- All bends and tees in water mains shall have thrust blocking provided in accordance with City of Dallas standard details.
- No water jetting shall be allowed.
- All sanitary sewer pipe 12" and smaller shall be PVC SDR 35 pipe, solid wall, in compliance with ASTM D 3034, latest revision. All pipe joints shall be in compliance with ASTM D 3212, latest, revision. Other pipe material shall be subject to approval by the City Engineer.
- Water mains shall have the following minimum cover below street grades:

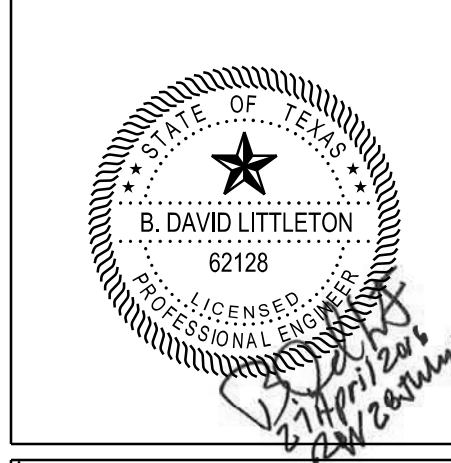
i. Size	Cover
ii. 6"	3.5'
iii. 8"	4.0'
iv. 10"	4.0'
v. 12"	5.0'
vi. >16"	6.0'
- Coordinate utility service locations with most current Architectural/MEP Plans for this project. Notify Engineer with any discrepancies.
- Fire service shall be sized and designed by a State of Texas licensed fire protection engineer/contractor registered in the State of Texas.
- Fire hydrants must be located 1.5 feet to 3-feet from the edge of the fire lane.
- All underground fire lines shall be installed by a state licensed fire protection contractor.
- Refer to City of Dallas standard details for DDC valve and vault construction, Water and Sanitary Sewer embedment and water thrust blocking.
- Field adjustments shall not be made without notification of the Owner and engineer.
- Utility service locations shall be plugged 5' from future building. Refer to Architectural /MEP Plans for this project for future continuation of building utilities.
- All water and sanitary sewer services shall be tested as required by the City of Dallas. Paving shall not take place until utilities are tested and accepted by the City of Dallas.

NOTE:
In addition to the Building Permits, a Right-of-Way Permit and Traffic Control Approval must be applied for and approved prior to any work within the Right-of-Way.

ATELIER TOWER
FLORA STREET
CITY OF DALLAS, TEXAS

HALFF
1201 NORTH BOWSER ROAD
RICHARDSON, TEXAS 75081-1275
FAX (214) 750-9005

Revision No.	Date	Description
1	11/14/2016	Site plan changes
2	07/29/2017	Note added per City

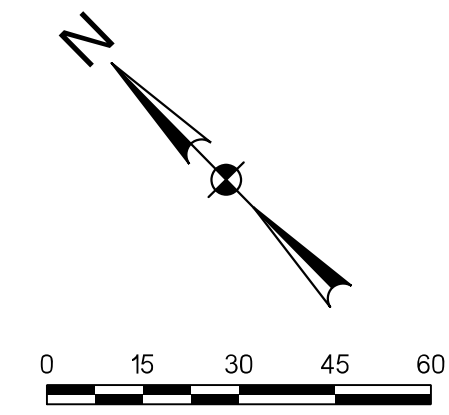
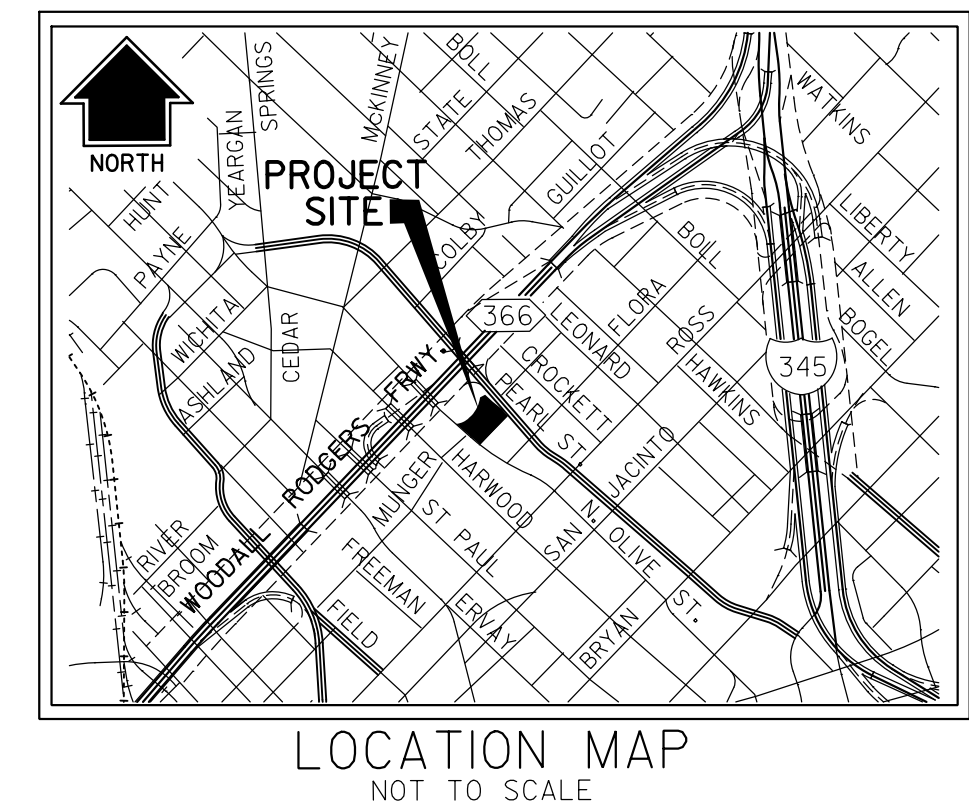
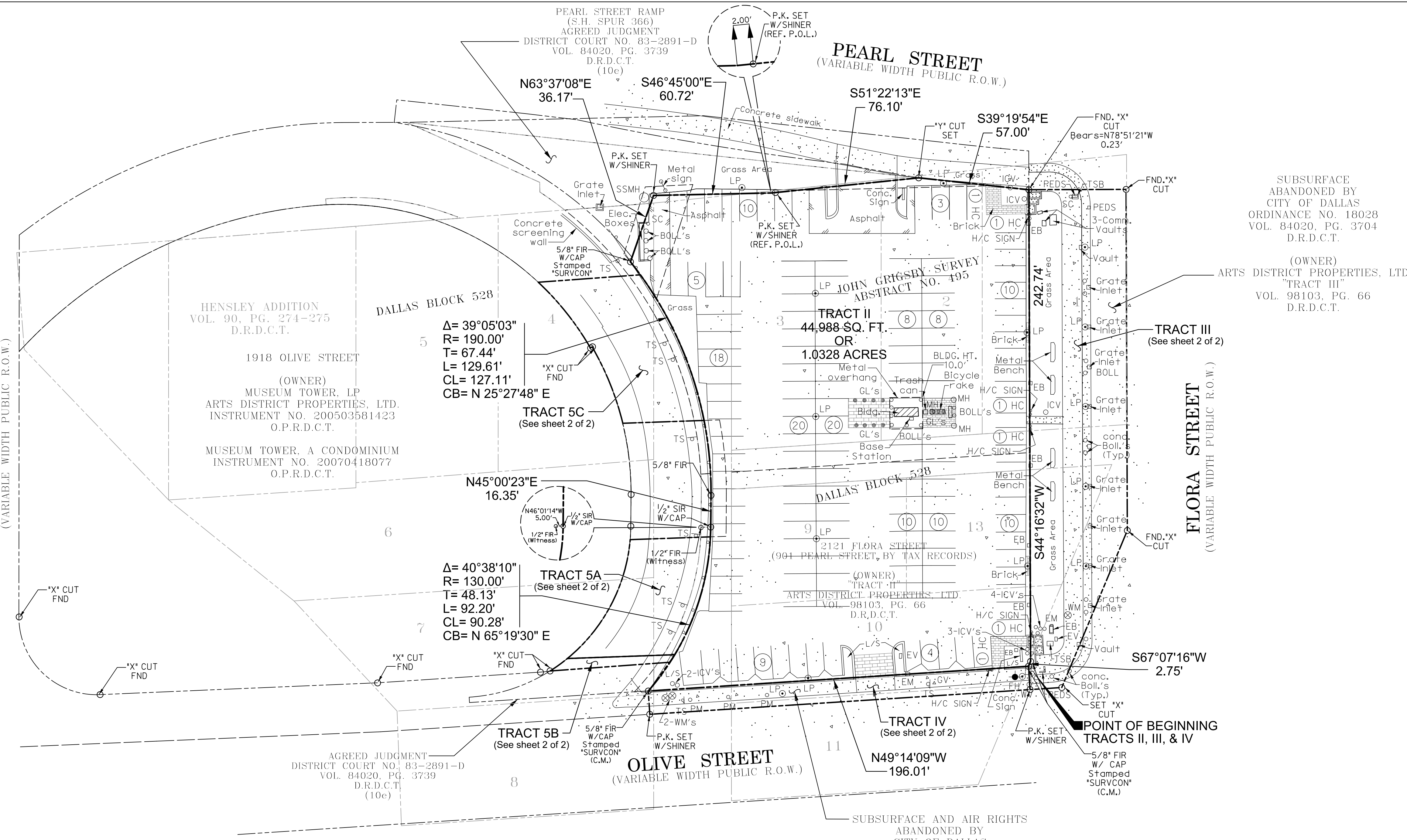


THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY B. DAVID LITTLETON, P.E. #62128 ON 04-27-2016. ALTERATION OF A SEALED DOCUMENT WITHOUT PROPER NOTIFICATION TO THE RESPONSIBLE ENGINEER IS AN OFFENSE UNDER THE TEXAS ENGINEERING PRACTICE ACT. THE RECORD COPY OF THIS DRAWING IS ON FILE AT THE OFFICES OF HALFF ASSOCIATES, INC. 1201 NORTH BOWSER ROAD, RICHARDSON, TEXAS 75081 TYPE FORM #F-312

Project No.:	30735
Issued:	NOVEMBER, 2016
Drawn By:	CAD
Checked By:	KM / BDL
Scale:	AS SHOWN
Sheet Title	GENERAL NOTES

C0.01
Sheet Number

WOODALL RODGERS FRWY.
(SPUR 366)
(VARIABLE WIDTH PUBLIC R.O.W.)



LEGEND:

HC	NUMBER OF PARKING SPACES
TSB	HANDICAP
PM	TRAFFIC SIGNAL BOX
COMM	PARKING METER
BOLL	COMMUNICATION VAULT
EV	TRAFFIC BOLLARD
MH	ELECTRICAL VAULT
MANHOLE	MANHOLE
PEDS	PEDESTRAIN SIGNAL
GV	GAS VALVE
TSB	TRAFFIC SIGNAL BOX
SSMH	SANITARY SEWER MANHOLE
SC	SECURITY CAMERA
ICV	IRRIGATION CONTROL VALVE
TMH	TELEPHONE MANHOLE
EM	ELECTRICAL METER
LP	LIGHT POLE
WM	WATER METER
WV	WATER VALVE
FH	FIRE HYDRANT
EB	ELECTRICAL BOX
TS	TRAFFIC SIGN
GL	GROUND LIGHT
1/2" FIR	1/2-INCH FOUND IRON ROD
1/2" SIR	1/2-INCH SET IRON ROD WITH YELLOW
W/CAP	PLASTIC CAP STAMPED "HALFF"
(C.M.)	CONTROL MONUMENT
P.K. SET	REFERENCE POINT ON LINE
W/SHINER	P.K. NAIL SET WITH SHINER STAMPED "HALFF"

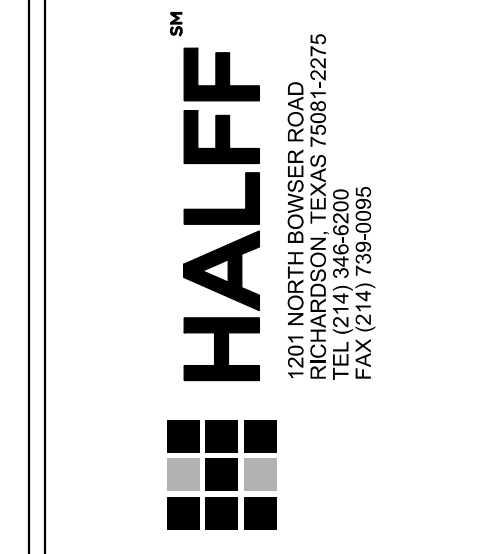
PARKING NOTES
REGULAR SPACES: 139
HANDICAP SPACES: 6
TOTAL SPACES: 145

FIELD NOTES - "TRACT IV" SUBSURFACE RIGHTS
BEING a 2,352 square feet tract of land situated in the John Grigsby Survey, Abstract No. 495, Dallas County, Texas and being part of City of Dallas Block 528, and being part of Lots 10 and 11 of Hensley Addition, an addition to the City of Dallas as recorded in Volume 90, Pages 274 and 275 of the Deed Records of Dallas County, Texas (D.R.D.C.T.), said tract being all of that tract of land described as "Tract IV" in Special Warranty Deed to Arts District Properties, LTD., (hereinafter referred to as "Tract IV"), as recorded in Volume 98103, Page 00066, D.R.D.C.T., and part of the right-of-way of Olive Street (a variable width public right-of-way), and being more particularly described by metes and bounds as follows:
BEGINNING at a 5/8 inch iron rod with cap stamped "SURVCON" found for corner at the southwest corner of a corner clip at the intersection of the northwesterly right-of-way line of Flora Street (a variable width public right-of-way) with the northeasterly right-of-way line of said Olive Street, same being the northeasterly corner of said "Tract IV"; and being a southerly corner of that tract of land described as "Tract III" and an angle point in the northwesterly line of that tract of land described as "Tract III" in the aforementioned deed to Arts District Properties, LTD.;
THENCE South 40 degrees 45 minutes 51 seconds West, departing said northeasterly right-of-way line and over and across said Olive Street along the southeasterly line of said "Tract IV", a distance of 12.00 feet to a P.K. nail set with aluminum shiner stamped "HALFF" (hereinafter referred to as P.K. nail set) for corner;
THENCE North 49 degrees 14 minutes 09 seconds West, continuing over and across said Olive Street along the southeasterly line of said "Tract IV", a distance of 196.01 feet to a P.K. nail set for corner;
THENCE North 49 degrees 14 minutes 09 seconds East, continuing over and across said Olive Street along the northwesterly line of said "Tract IV", a distance of 12.00 feet to a 5/8 inch iron rod with cap stamped "SURVCON" found on said northeasterly right-of-way line of Olive Street, same being the westerly corner of said "Tract II";
THENCE South 49 degrees 14 minutes 09 seconds East, along said northeasterly right-of-way line of Olive Street, same being the common northwesterly line of said "Tract IV" and southeasterly line of said "Tract II", a distance of 196.02 feet to the POINT OF BEGINNING AND CONTAINING 2,352 square feet or 0.0540 acres of land, more or less.

FIELD NOTES - "TRACT III" AERIAL RIGHTS AND SUBSURFACE RIGHTS
BEING a 11,458 square feet tract of land situated in the John Grigsby Survey, Abstract No. 495, Dallas County, Texas and being part of City of Dallas Block 528, and being part of Lots 1, 10 and 13 of Hensley Addition, an addition to the City of Dallas as recorded in Volume 90, Pages 274 and 275 of the Deed Records of Dallas County, Texas (D.R.D.C.T.), said tract also being all of that tract of land described as "Tract III" in Special Warranty Deed to Arts District Properties, LTD., (hereinafter referred to as "Tract III"), as recorded in Volume 98103, Page 00066, D.R.D.C.T., and being more particularly described by metes and bounds as follows:
BEGINNING at a 5/8 inch iron rod with cap stamped "SURVCON" found for corner at the southwest corner of a corner clip at the intersection of the northwesterly right-of-way line of Flora Street (a variable width public right-of-way) with the northeasterly right-of-way line of Olive Street (a variable width public right-of-way), said iron rod also being an angle point in the northwesterly line of that tract of said "Tract III", same being the northwesterly corner of that tract of land described as "Tract III" and the southerly corner of that tract of land described as "Tract II" in the aforementioned deed to Arts District Properties, LTD.;
THENCE North 67 degrees 07 minutes 16 seconds East, departing said northeasterly right-of-way line of Olive Street and along said northwesterly right-of-way line of Flora Street, same being the common northwesterly line of said "Tract III" and southeasterly line of said "Tract II", and along said corner clip, a distance of 2.75 feet to a 5/8-inch iron rod with cap stamped "SURVCON" found for the northeasterly corner of said corner clip;
THENCE North 44 degrees 16 minutes 32 seconds East, along said common line and along said northwesterly right-of-way line of Flora Street, a distance of 242.75 feet to a point for corner from which an "X" cut found for witness bears North 79 degrees 51 minutes 22 seconds East, a distance of 0.23 feet, said point also being the intersection of said common line and said northwesterly right-of-way line with the southwesterly right-of-way line of Pearl Street (a variable width public right-of-way);
THENCE South 45 degrees 43 minutes 28 seconds East, departing said northwesterly right-of-way line and over and across said Flora Street along the northwesterly line of said "Tract III", a distance of 50.00 feet to an "X" cut found for corner;
THENCE South 44 degrees 16 minutes 32 seconds West, continuing over and across said Flora Street along the southeasterly line of said "Tract III", a distance of 175.57 feet to an "X" cut found for corner;
THENCE South 67 degrees 07 minutes 16 seconds West, continuing over and across said Flora Street along the southeasterly line of said "Tract III", a distance of 87.56 feet to an "X" cut set for corner;
THENCE North 49 degrees 14 minutes 09 seconds West, continuing over and across said Flora Street along the southeasterly line of said "Tract III", a distance of 16.37 feet to P.K. nail with aluminum shiner stamped "HALFF" set for corner;
THENCE North 40 degrees 45 minutes 51 seconds East, continuing over and across said Flora Street along the southeasterly line of said "Tract III", a distance of 12.00 feet to the POINT OF BEGINNING AND CONTAINING 11,458 square feet or 0.2630 acres of land, more or less.

LEGAL DESCRIPTION - "TRACT II"
BEING a 44,988 square feet tract of land situated in the John Grigsby Survey, Abstract No. 495, Dallas County, Texas and being part of City of Dallas Block 528, and being part of Lots 1, 2, 3, 9, 10 and 13 of Hensley Addition, an addition to the City of Dallas as recorded in Volume 90, Pages 274 and 275 of the Deed Records of Dallas County, Texas (D.R.D.C.T.), said tract also being part of that tract of land described as "Tract No. 1", and being an abandonment of a portion of "Old Pearl Street-Munger Ave (formerly Juliette Street)" as described in City of Dallas Ordinance 17633, as recorded in Volume 62500, Page 1383, D.R.D.C.T., and being all of that tract of land described as "Tract II" in Special Warranty Deed to Arts District Properties, LTD., (hereinafter referred to as "Tract II"), as recorded in Volume 98103, Page 00066, D.R.D.C.T., and being more particularly described by metes and bounds as follows:
BEGINNING at a 5/8 inch iron rod with cap stamped "SURVCON" found for corner at the south westerly end of a corner clip at the intersection of the northwesterly right-of-way line of Flora Street (a variable width public right-of-way) with the northeasterly right-of-way line of Olive Street (a variable width public right-of-way), said iron rod also being a southerly corner of said "Tract II" and the northeasterly corner of that tract of land described as "Tract IV", and an angle point in the northwesterly line of that tract of land described as "Tract III" in the aforementioned deed to Arts District Properties, LTD.;
THENCE North 49 degrees 14 minutes 09 seconds West, along said northeasterly right-of-way line of Olive Street, same being the common southwesterly line of said "Tract II" and northwesterly line of said "Tract IV", a distance of 196.01 feet to a 5/8 inch iron rod with cap stamped "SURVCON" found for the intersection of said common line with the southeasterly line of that tract of land described in District Court Agreed Judgment Number 83-2891-D to the State of Texas and the City of Dallas, as recorded in Volume 84020, Page 3739, D.R.D.C.T. (hereinafter referred to as "Olive Loop" tract), said corner also being the beginning of a non-tangent circular curve to the left, having a radius of 130.00 feet and whose chord bears North 65 degrees 19 minutes 30 seconds East, a distance of 90.28 feet, from which point a 1/2-inch iron rod found for witness on the northwesterly line of that tract of land described as "Tract IV", and an angle point in the northwesterly line of that tract of land described as "Tract III" in the aforementioned deed to Arts District Properties, LTD.;
THENCE North 49 degrees 14 minutes 09 seconds West, along said northeasterly right-of-way line of Olive Street, same being the common southwesterly line of said "Tract II" and northwesterly line of said "Tract IV", a distance of 196.01 feet to a 5/8 inch iron rod with cap stamped "SURVCON" found for the intersection of said common line with the southeasterly line of that tract of land described in District Court Agreed Judgment Number 83-2891-D to the State of Texas and the City of Dallas, as recorded in Volume 84020, Page 3739, D.R.D.C.T. (hereinafter referred to as "Olive Loop" tract), said corner also being the beginning of a non-tangent circular curve to the left, having a radius of 130.00 feet and whose chord bears North 65 degrees 19 minutes 30 seconds East, a distance of 90.28 feet, from which point a 1/2-inch iron rod found for witness on the northwesterly line of that tract of land described as "Tract IV", and an angle point in the northwesterly line of that tract of land described as "Tract III" in the aforementioned deed to Arts District Properties, LTD.;
THENCE North 45 degrees 00 minutes 23 seconds East, continuing along said common line, a distance of 16.35 feet to a 5/8-inch iron rod found for corner, said point being the point of curvature of a tangent circular curve to the left, having a radius of 190.00 feet and whose chord bears North 25 degrees 27 minutes 48 seconds East, a distance of 127.11 feet;
THENCE Northeasterly, continuing along said common line and along said circular curve to the left, through a central angle of 39 degrees 05 minutes 03 seconds and an arc distance of 92.20 feet to a 1/2-inch iron rod with a yellow plastic cap stamped "HALFF" set for corner;
THENCE North 45 degrees 00 minutes 23 seconds East, continuing along said common line, a distance of 16.35 feet to a 5/8-inch iron rod found for corner, said point being the point of curvature of a tangent circular curve to the left, having a radius of 190.00 feet and whose chord bears North 25 degrees 27 minutes 48 seconds East, a distance of 127.11 feet;
THENCE Northeasterly, continuing along said common line and along said circular curve to the left, through a central angle of 39 degrees 05 minutes 03 seconds and an arc distance of 92.20 feet to a 1/2-inch iron rod with a yellow plastic cap stamped "HALFF" set for corner;
THENCE North 63 degrees 37 minutes 08 seconds East, continuing along said common line, a distance of 36.17 feet to a P.K. nail w/ aluminum shiner stamped "HALFF" (hereinafter referred to as "P.K. nail set") set for corner at the southwesterly corner of the Pearl Street (a variable width right-of-way, also known as "Pearl Street Ramp" and "State Highway Spur 366");
THENCE South 46 degrees 45 minutes 00 seconds East, along the common northeasterly line of said "Tract II" and southwesterly line of said "Olive Loop" tract, same being said southwesterly right-of-way line of Pearl Street, a distance of 60.72 feet to a point (not monumented) on a concrete curb stop for corner, from which a P.K. nail set on line for witness bears South 51 degrees 22 minutes 13 seconds East, a distance of 2.00 feet;
THENCE South 51 degrees 22 minutes 13 seconds East, continuing along said common line, passing at a distance of 2.00 feet the aforementioned P.K. nail set on line for witness, and continuing a total distance of 76.10 feet to a "Y" cut set in concrete for corner;
THENCE South 39 degrees 19 minutes 54 seconds East, continuing along said common line, a distance of 57.00 feet to a point for corner at the intersection of said common line with said northwesterly right-of-way line of Flora Street, from which an "X" cut found for witness bears North 78 degrees 51 minutes 22 seconds East, a distance of 0.23 feet, said point for corner also being the easterly corner of said "Tract II" and the northerly corner of said "Tract III";
THENCE South 44 degrees 16 minutes 32 seconds West, along the common southeasterly line of said "Tract II" and northeasterly line of said "Tract III", same being said northwesterly right-of-way line of Flora Street, a distance of 242.74 feet to a 5/8-inch iron rod with cap stamped "SURVCON" for the northeasterly corner of the aforementioned corner clip at the intersection of said common line with the northeasterly right-of-way line of Olive Street;
THENCE South 67 degrees 07 minutes 16 seconds West, continuing along said common line and along said corner clip, a distance of 2.75 feet to the POINT OF BEGINNING AND CONTAINING 44,988 square feet or 1.0328 acres of land, more or less.

ALTA/ACSM LAND TITLE SURVEY
OF
901 PEARL STREET
PART OF CITY BLOCKS 527 AND 528
SITUATED IN THE
JOHN GRIGSBY SURVEY, ABSTRACT NO. 495
CITY OF DALLAS, DALLAS COUNTY, TEXAS
FOR
ARTS DISTRICT PROPERTIES

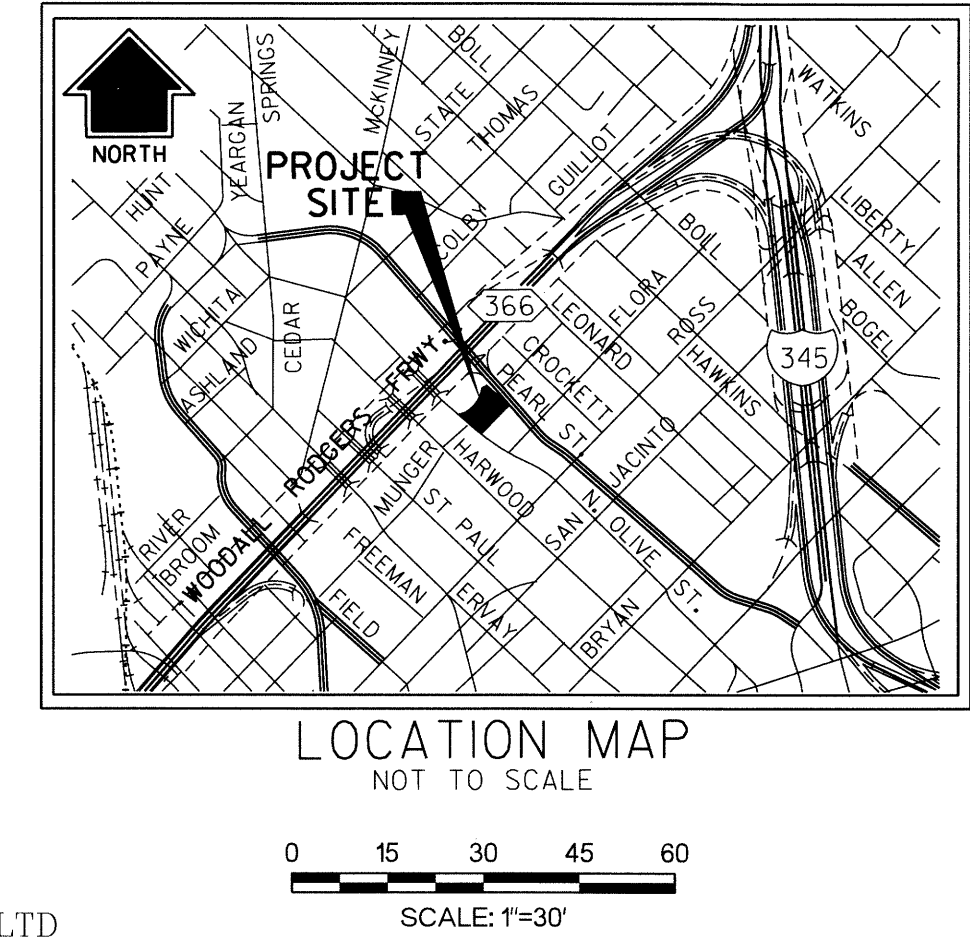
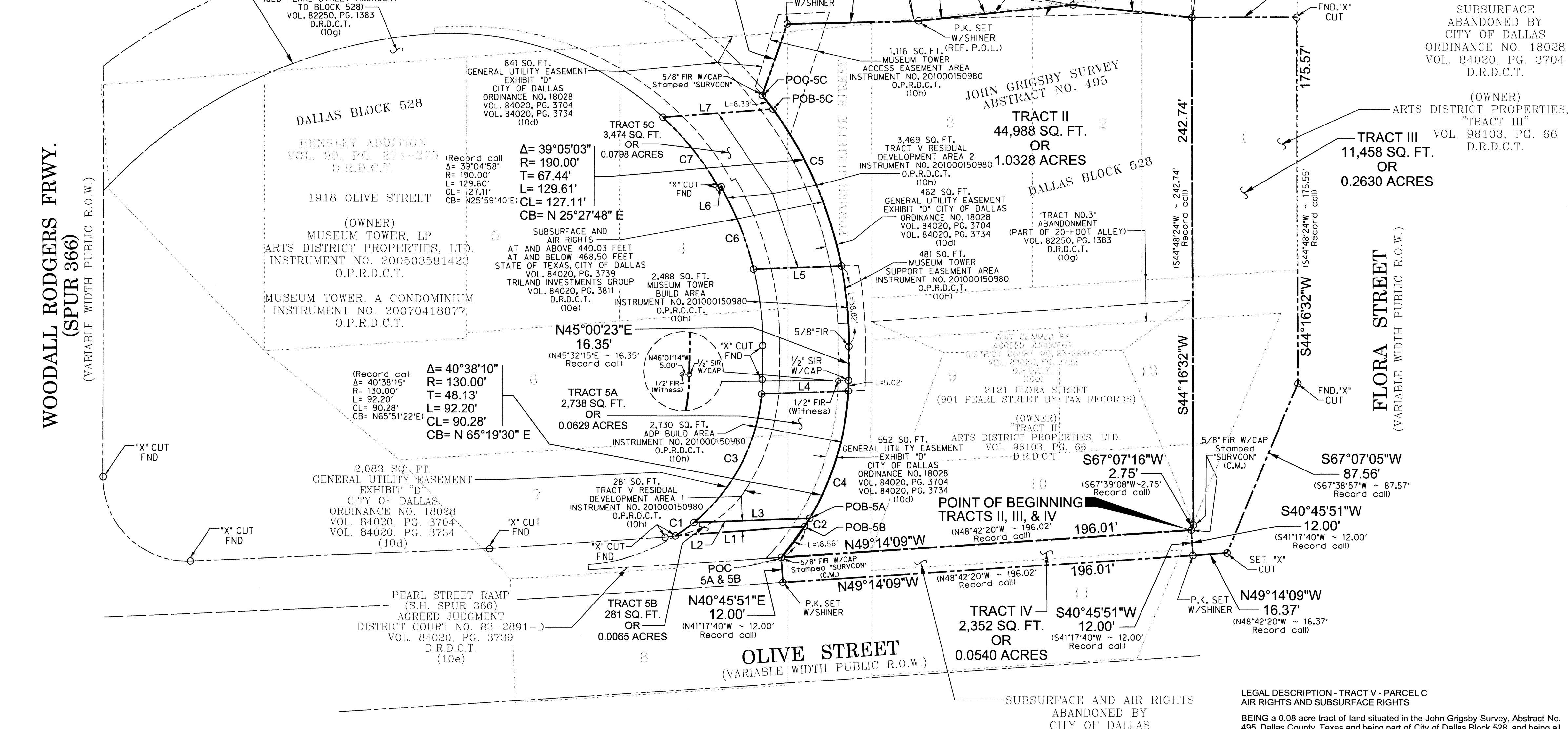


Revision No.	Date	Description

Project No.:	29307
Issued:	03 / 29 / 2013
Drawn By:	JLM
Checked By:	CJH
Scale:	1"=30'
Sheet Title	ALTA/ACSM LAND TITLE SURVEY
1 of 2	Sheet Number

WOODALL RODGERS FRWY. (SPUR 366)

PEARL STREET (VARIABLE WIDTH PUBLIC R.O.W.)



ALTA/ACSM LAND TITLE SURVEY OF 901 PEARL STREET PART OF CITY BLOCKS 527 AND 528 JOHN GRIGSBY SURVEY, ABSTRACT NO. 495 CITY OF DALLAS, DALLAS COUNTY, TEXAS FOR ARTS DISTRICT PROPERTIES

LINE DATA TABLE with columns for NO., BEARING, and DISTANCE.

CURVE TABLE with columns for NO., DELTA, RADIUS, TANGENT, LENGTH, CHORD LENGTH, and CHORD BEARING.

LEGEND: POB POINT OF BEGINNING, POC POINT OF COMMENCING, REF. P.O.L. REFERENCE POINT ON LINE, P.K. SET WITH SHINER STAMPED 'HALFF', etc.

TITLE COMMITMENT NOTES: The Surveyor has reviewed Schedule B of First American Title Insurance Company's Title Commitment of No. 1002-43179-RTT...

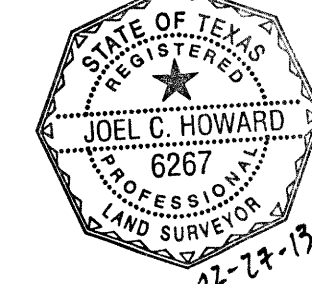
- Terms, provisions, conditions, and easements contained in City of Dallas Ordinance No. 18028, recorded in Volume 84020, Page 3704, D.R.D.C.T. (Affects "Tracts II and IV" as shown hereon, Schedule B, Item 10 (d)).

GENERAL NOTES

- 1. The Basis of Bearing is the Texas Coordinate System of 1983, North Central Zone (4202), as derived from the Texas Department of Transportation (T.X.D.O.T.) control network.

SURVEYOR'S CERTIFICATE: To: Flora Street Lofts, LTD., Arts District Properties, LTD. and First American Title Insurance Company.

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2011 Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys...



LEGAL DESCRIPTION - TRACT V - PARCEL A AIR RIGHTS AND SUBSURFACE RIGHTS: BEING a 0.063 tract of land situated in the John Grigsby Survey, Abstract No. 495, Dallas County, Texas...

THENCE Northeastly, along the common southeasterly line of said "Olive Loop" tract and northwesterly line of said "Tract II" and along said curve, through a central angle of 10 degrees 11 minutes 32 seconds, an arc distance of 23.13 feet to a point (not monumented) for the POINT OF BEGINNING of the herein described tract;

THENCE North 47 degrees 31 minutes 19 seconds West, departing said common line and over and across said "Olive Loop" tract, a distance of 55.25 feet to a point (not monumented) for the beginning of a non-tangent circular curve to the left having a radius of 89.00 feet...

THENCE North 45 degrees 44 minutes 14 seconds, an arc distance of 71.05 feet to a point (not monumented) for corner.

THENCE South 47 degrees 31 minutes 19 seconds East, departing said common line and over and across said "Olive Loop" tract, a distance of 41.32 feet to a point (not monumented) for the beginning of a non-tangent circular curve to the right having a radius of 130.00 feet...

LEGAL DESCRIPTION - TRACT V - PARCEL B AIR RIGHTS AND SUBSURFACE RIGHTS: BEING a 0.006 tract of land situated in the John Grigsby Survey, Abstract No. 495, Dallas County, Texas...

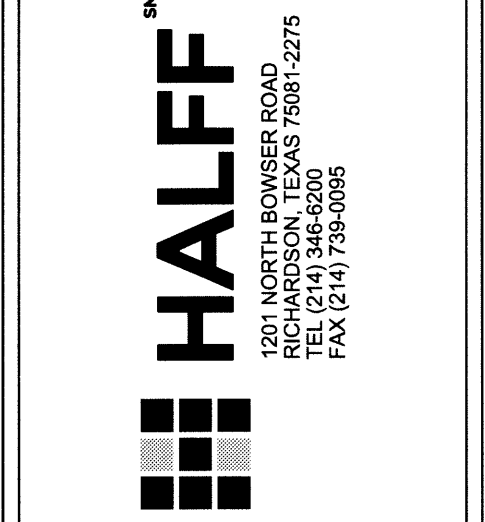
COMMENCING at a 5/8-inch iron rod with cap stamped "SURVCON" found for the intersection of the northeasterly line of Olive Street (a variable width right-of-way) with the southeasterly line of that tract of land as described in District Court Agreed Judgment Number 83-2891-D to the State of Texas...

THENCE Northeastly, along the common southeasterly line of said "Olive Loop" tract and northwesterly line of said "Tract II" and along said curve, through a central angle of 08 degrees 10 minutes 46 seconds, an arc distance of 18.56 feet to a point (not monumented) for the POINT OF BEGINNING of the herein described tract;

THENCE North 49 degrees 39 minutes 51 seconds West, departing said common line and over and across said "Olive Loop" tract, a distance of 61.87 feet to an "X"-cut found for the beginning of a non-tangent circular curve to the left having a radius of 89.00 feet...

THENCE South 47 degrees 31 minutes 19 seconds East, departing said common line and over and across said "Olive Loop" tract, a distance of 55.25 feet to a point (not monumented) for the beginning of a non-tangent circular curve to the right having a radius of 130.00 feet...

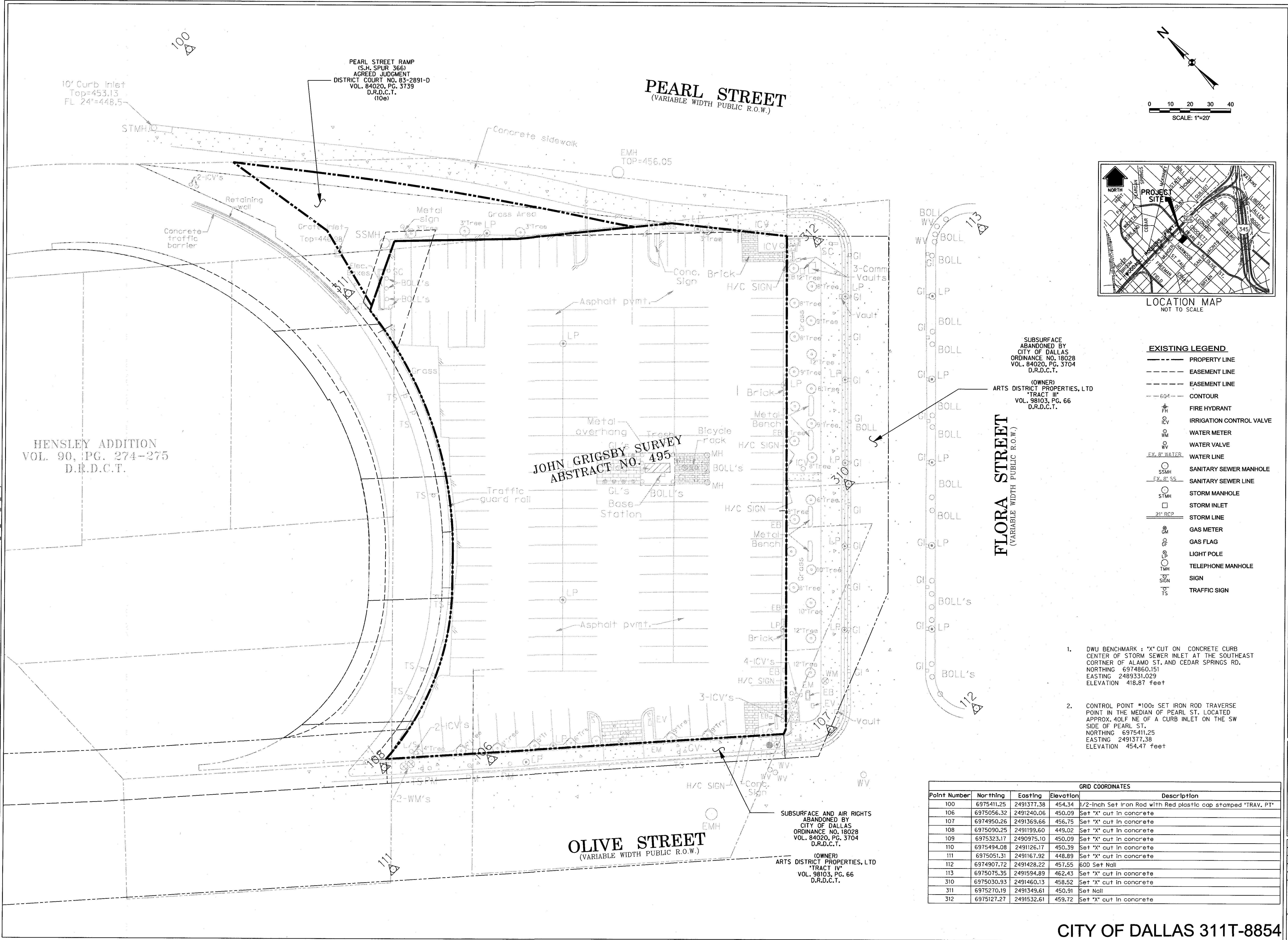
THENCE West, along said common line and along said curve, through a central angle of 02 degrees 00 minutes 46 seconds, an arc distance of 4.57 feet to the POINT OF BEGINNING AND CONTAINING 281 square feet or 0.006 acres of land, more or less.



Revision table with columns for No., Date, and Description.

Project No.: 29307, Issued: 03 / 29 / 2013, Drawn By: JLM, Checked By: CJH, Scale: 1"=30', Sheet Title: ALTA/ACSM LAND TITLE SURVEY, 2 of 2, Sheet Number

4/28/2016 10:24:35 AM ar2401 HALFF I:\300006\30729\CADD\Drawings\C101.SC-30735.dgn Sheet 3E KIP MON FS FW/pt



HENSLEY ADDITION
VOL. 90, PG. 274-275
D.R.D.C.T.

PEARL STREET RAMP
(S.H. SPUR 366)
AGREED JUDGMENT
DISTRICT COURT NO. 83-2891-D
VOL. 84020, PG. 3739
D.R.D.C.T.
(10e)

PEARL STREET
(VARIABLE WIDTH PUBLIC R.O.W.)

JOHN GRIGSBY SURVEY
ABSTRACT NO. 495

OLIVE STREET
(VARIABLE WIDTH PUBLIC R.O.W.)

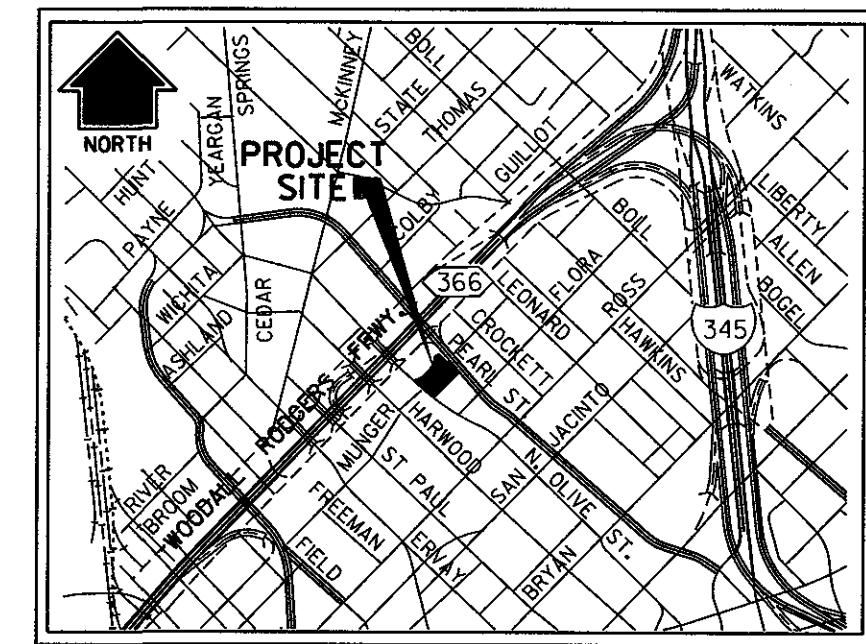
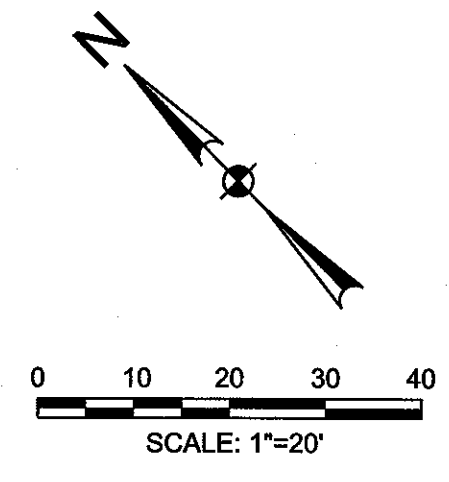
SUBSURFACE AND AIR RIGHTS
ABANDONED BY
CITY OF DALLAS
ORDINANCE NO. 18028
VOL. 84020, PG. 3704
D.R.D.C.T.

(OWNER)
ARTS DISTRICT PROPERTIES, LTD
"TRACT IV"
VOL. 98103, PG. 66
D.R.D.C.T.

SUBSURFACE
ABANDONED BY
CITY OF DALLAS
ORDINANCE NO. 18028
VOL. 84020, PG. 3704
D.R.D.C.T.

(OWNER)
ARTS DISTRICT PROPERTIES, LTD
"TRACT III"
VOL. 98103, PG. 66
D.R.D.C.T.

FLORA STREET
(VARIABLE WIDTH PUBLIC R.O.W.)

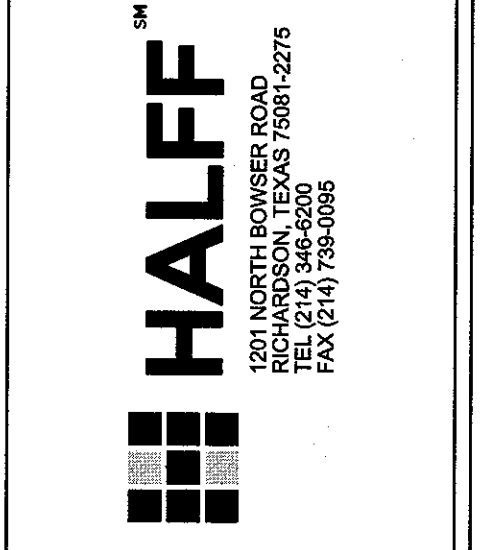


- EXISTING LEGEND**
- PROPERTY LINE
 - EASEMENT LINE
 - EASEMENT LINE
 - 604 --- CONTOUR
 - ⊕ FH FIRE HYDRANT
 - ⊕ IVCV IRRIGATION CONTROL VALVE
 - ⊕ WM WATER METER
 - ⊕ WV WATER VALVE
 - EX. B' WATER WATER LINE
 - ⊕ SSMH SANITARY SEWER MANHOLE
 - EX. B' SS SANITARY SEWER LINE
 - ⊕ STMH STORM MANHOLE
 - ⊕ STMH STORM INLET
 - STORM LINE
 - ⊕ GM GAS METER
 - ⊕ GF GAS FLAG
 - ⊕ LP LIGHT POLE
 - ⊕ TM TELEPHONE MANHOLE
 - ⊕ SIGN SIGN
 - ⊕ TS TRAFFIC SIGN

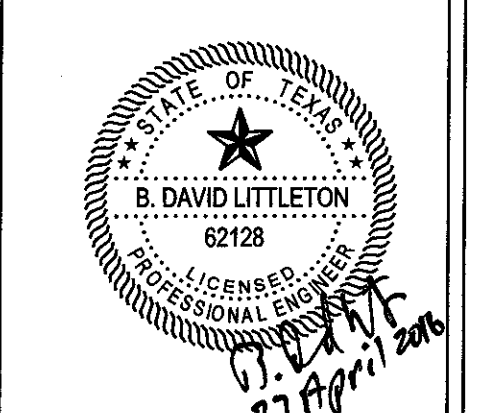
- DWU BENCHMARK : 'X' CUT ON CONCRETE CURB CENTER OF STORM SEWER INLET AT THE SOUTHEAST CORNER OF ALAMO ST. AND CEDAR SPRINGS RD. NORTHING 6974860.151 EASTING 2489331.029 ELEVATION 418.87 feet
- CONTROL POINT #100: SET IRON ROD TRAVERSE POINT IN THE MEDIAN OF PEARL ST. LOCATED APPROX. 40LF NE OF A CURB INLET ON THE SW SIDE OF PEARL ST. NORTHING 6975411.25 EASTING 2491377.38 ELEVATION 454.47 feet

Point Number	Northing	Easting	Elevation	DESCRIPTION
100	6975411.25	2491377.38	454.34	1/2-Inch Set Iron Rod with Red plastic cap stamped "TRAV. PT"
106	6975056.32	2491240.06	450.09	Set 'X' cut in concrete
107	6974950.26	2491369.66	456.75	Set 'X' cut in concrete
108	6975090.25	2491199.60	449.02	Set 'X' cut in concrete
109	6975323.17	2490975.10	450.09	Set 'X' cut in concrete
110	6975494.08	2491126.17	450.39	Set 'X' cut in concrete
111	6975051.31	2491167.92	448.89	Set 'X' cut in concrete
112	6974907.72	2491428.22	457.55	60D Set Nail
113	6975075.35	2491594.89	462.43	Set 'X' cut in concrete
310	6975030.93	2491460.13	458.52	Set 'X' cut in concrete
311	6975270.19	2491349.61	450.91	Set Nail
312	6975127.27	2491532.61	459.72	Set 'X' cut in concrete

ATELIER TOWER
FLORA STREET
CITY OF DALLAS, TEXAS



Revision No.	Date	Description



THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY B. DAVID LITTLETON, P.E., REG. NO. 62128 ON 04-27-2016. ALTERATION OF A SEALED DOCUMENT WITHOUT PROPER NOTIFICATION TO THE RESPONSIBLE ENGINEER IS AN OFFENSE UNDER THE TEXAS ENGINEERING PRACTICE ACT. THE RECORD COPY OF THIS DRAWING IS ON FILE AT THE OFFICE OF HALFF ASSOCIATES, INC. 1201 NORTH BOWSER ROAD, RICHARDSON TEXAS 75081 TPE FIRM #F-312

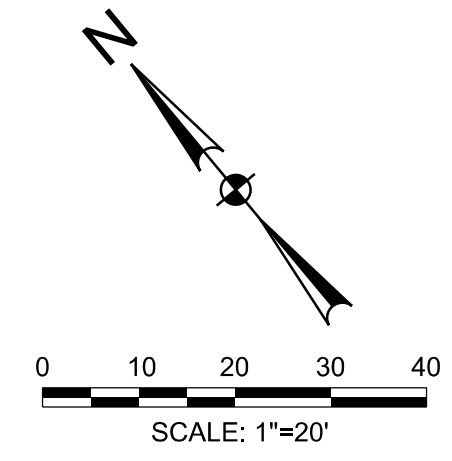
Project No.: 30735
Issued: AUGUST, 2015
Drawn By: LEO
Checked By: JCH
Scale: 1"=20'
Sheet Title

SURVEY CONTROL PLAN

C1.01
Sheet Number

CITY OF DALLAS 311T-8854

PEARL STREET
(VARIABLE WIDTH PUBLIC R.O.W.)



EXISTING LEGEND

---	PROPERTY LINE
- - - -	EASEMENT LINE
- - - -	EASEMENT LINE
---	CONTOUR
⊕	FIRE HYDRANT
⊕	IRRIGATION CONTROL VALVE
⊕	WATER METER
⊕	WATER VALVE
⊕	EX. 8" WATER
⊕	WATER LINE
⊕	SANITARY SEWER MANHOLE
⊕	SANITARY SEWER LINE
⊕	STORM MANHOLE
⊕	STORM INLET
⊕	STORM LINE
⊕	GAS METER
⊕	GAS FLAG
⊕	LIGHT POLE
⊕	TELEPHONE MANHOLE
⊕	SIGN
⊕	TRAFFIC SIGN
⊕	PARKING METER
⊕	TRAFFIC SIGNAL BOX

- DEMOLITION NOTES**
- RELOCATE TREES ON OLIVE AND PEARL TO GRAHAM GREENE'S LOT AT 3020 S LAMAR STREET DALLAS, TX 75215.
 - SALVAGE EXISTING POLE LIGHTS TO GRAHAM GREENE'S LOT ON LAMAR.
 - SALVAGE SIGNS RETURN TO CURRENT PARKING COMPANY.
 - SALVAGE WHEEL STOPS, BIKE RACKS, PAY BOXES AND CABINETS TO BE PROVIDED TO GRAHAM GREENE.
 - SALVAGE SUNSHADE DEVICE TO GRAHAM GREENE'S LOT ON LAMAR.
 - ADDITIONAL DEMOLITION OF UNDERGROUND UTILITIES SHOWN ELSEWHERE.
 - FOR ADDITIONAL EXTENTS FOR DEMOLITION, REFER TO GRADING, STORM DRAINAGE, PAVING, AND DIMENSION CONTROL, WATER AND SANITARY SEWER PLANS.
 - INFORMATION PROVIDED ON THIS PLAN DOES NOT DELINEATE ANY UNDERGROUND FOUNDATION OR OBJECTS THAT CURRENTLY MAY BE COVERED.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER REMOVAL AND DISPOSAL OF MATERIALS AS REQUIRED BY THE OWNER OR OWNER'S REPRESENTATIVE.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR TEMPORARY SIGNALING TO MAINTAIN TWO INDICATIONS FOR MOVEMENT EQUIVALENT TO EXISTING CONDITIONS.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING CITY APPROVAL FOR ANY SIDEWALK OR CROSSWALK CLOSURE DURING CONSTRUCTION.

- BENCHMARKS & CONTROL POINTS**
- DWU BENCHMARK : 'X' CUT ON CONCRETE CURB CENTER OF STORM SEWER INLET AT THE SOUTHEAST CORNER OF ALAMO ST. AND CEDAR SPRINGS RD. NORTHING 6974860.151 EASTING 2489331.029 ELEVATION 418.87 feet
 - CONTROL POINT #100: SET IRON ROD TRAVERSE POINT IN THE MEDIAN OF PEARL ST. LOCATED APPROX. 40LF NE OF A CURB INLET ON THE SW SIDE OF PEARL ST. NORTHING 6975411.25 EASTING 2491377.38 ELEVATION 454.47 feet

CAUTION!!!
!! CALL BEFORE YOU DIG !!
ONE CALL: TEXAS 811
1-800-DIG-TESS
1-800-344-8377

WARNING!!!
EXISTING UNDERGROUND UTILITIES IN AREA. USE EXTREME CARE AND CAUTION WHEN WORKING IN AREA.

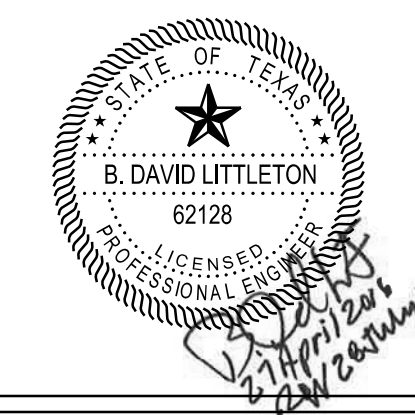
SEE SHEET C0.01 FOR GENERAL NOTES

CITY OF DALLAS 311T-8854

ATELIER TOWER
FLORA STREET
CITY OF DALLAS, TEXAS



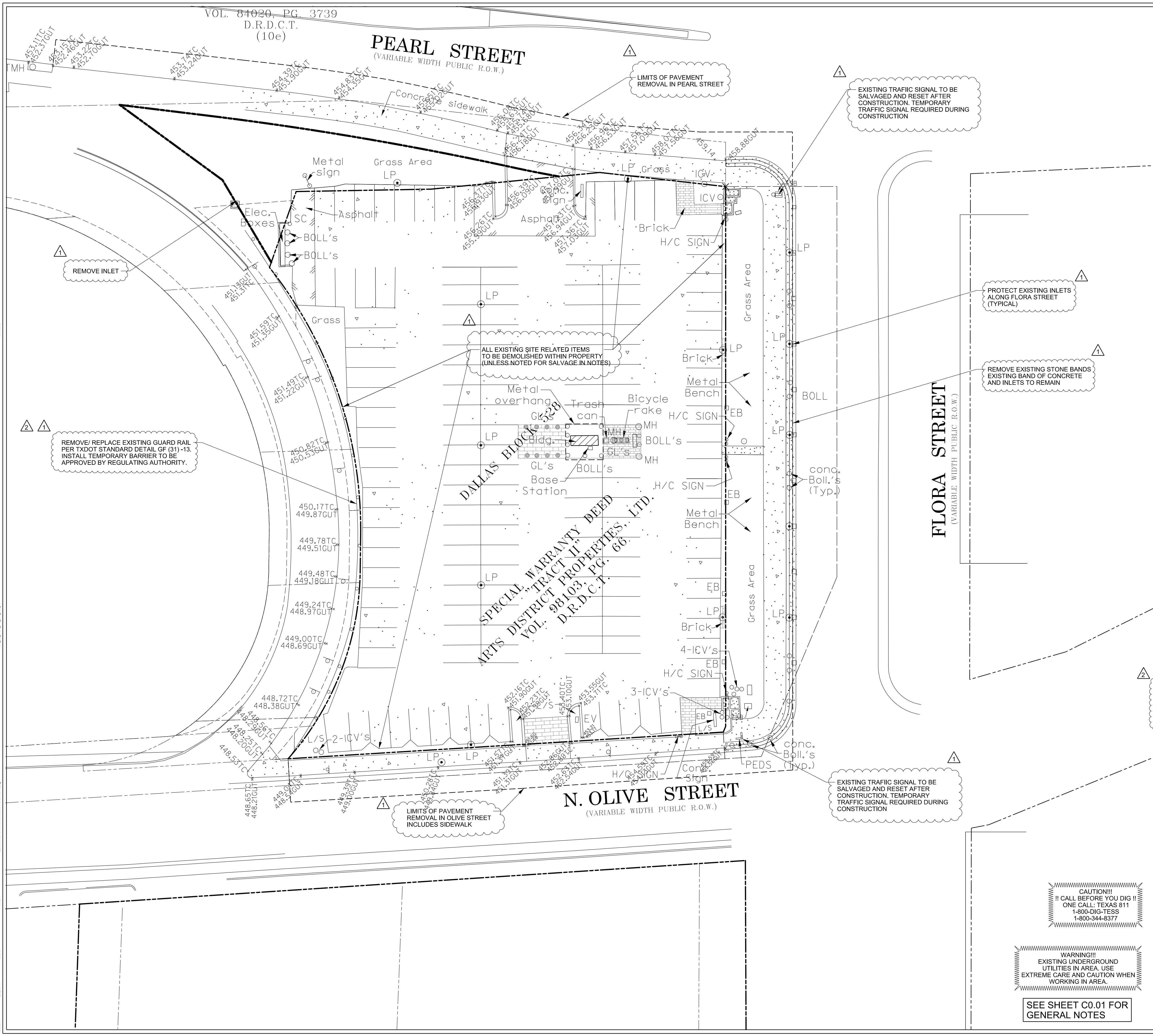
Revision No.	Date	Description
1	11/14/2016	Site plan changes
2	07/28/2017	Temporary Signaling

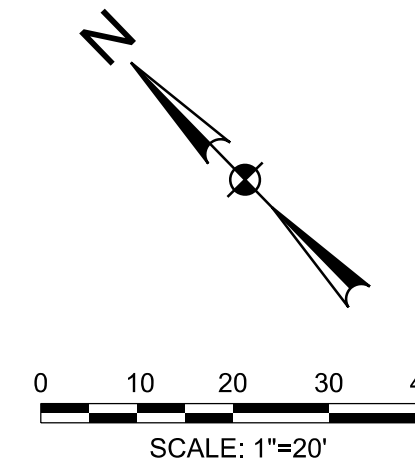


THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY B. DAVID LITTLETON, P.E. #62128 ON 11/14/2016. ALTERATION OF A SEALED DOCUMENT WITHOUT PROPER NOTIFICATION TO THE RESPONSIBLE ENGINEER IS AN OFFENSE UNDER THE TEXAS ENGINEERING PRACTICE ACT. THE RECORD COPY OF THIS DRAWING IS ON FILE AT THE OFFICES OF HALFF ASSOCIATES, INC. 1201 NORTH BOWSER ROAD, RICHARDSON, TEXAS 75081 TYPE FIRM #F-312

Project No.:	30735
Issued:	NOVEMBER, 2016
Drawn By:	CAD
Checked By:	KM / BDL
Scale:	AS SHOWN
Sheet Title	EXISTING ELEVATIONS AND DEMOLITION PLAN

C1.02
Sheet Number





NOTES:
 ALL PAVING MUST BE CONSTRUCTED IN CONFORMANCE WITH CITY OF DALLAS DEPARTMENT OF PUBLIC WORKS STANDARD CONSTRUCTION DETAILS 251-D FOR CENTRAL BUSINESS DISTRICT PG. 1007.
 ALL SIDEWALKS CONSTRUCTED ADJACENT TO EXISTING CURBS REQUIRE A SIDEWALK LUG PER 251-D PG. 9005.
 ALL PAVEMENT CUT AND REPAIR SHOULD REFER TO CITY OF DALLAS PAVEMENT CUT AND REPAIR STANDARDS MANUAL.
 (https://dallascityhall.com/departments/sustainabledevelopment/DCH%20documents/pdf/CutManualOct2003.pdf)



EXISTING LEGEND

---	PROPERTY LINE
- - - -	EASEMENT LINE
- - - -	EASEMENT LINE
---	CONTOUR
FH	FIRE HYDRANT
ICV	IRRIGATION CONTROL VALVE
WM	WATER METER
WV	WATER VALVE
EX. 8" WATER	WATER LINE
SSMH	SANITARY SEWER MANHOLE
EX. 8" SS	SANITARY SEWER LINE
STMH	STORM MANHOLE
SI	STORM INLET
SL	STORM LINE
GM	GAS METER
GF	GAS FLAG
LP	LIGHT POLE
TMH	TELEPHONE MANHOLE
TS	SIGN
TS	TRAFFIC SIGN
PM	PARKING METER
TSB	TRAFFIC SIGNAL BOX

LEGEND

	ALL PROPOSED PAVING WORK WITHIN CITY CBD RIGHT-OF-WAY MUST BE MINIMUM 10" THICK CONCRETE ON 4" CTB, 650 PSI, 4,500 PSI, AND REINFORCED WITH #4 BARS. STANDARD SUBGRADE COMPACTION IS 98% STANDARD PROCTOR DENSITY AT MINUS 2% TO PLUS 4% OF OPTIMUM MOISTURE TO THE DEPTH SPECIFIED. (PER 251-D PG. 1007)
	COLORLED CONCRETE PAVEMENT (REFER TO LANDSCAPE PLANS FOR SPECIFICATION)
	3" ASPHALT OVERLAY OVER CONCRETE BASE TO MATCH EXISTING MATERIAL IN OLIVE ST.
	12"x24"x2" GRANITE PAVERS (REFER TO LANDSCAPE PLANS FOR SPECIFICATION)
	14"x36"x4" GRANITE PAVERS (REFER TO LANDSCAPE PLANS FOR SPECIFICATION)

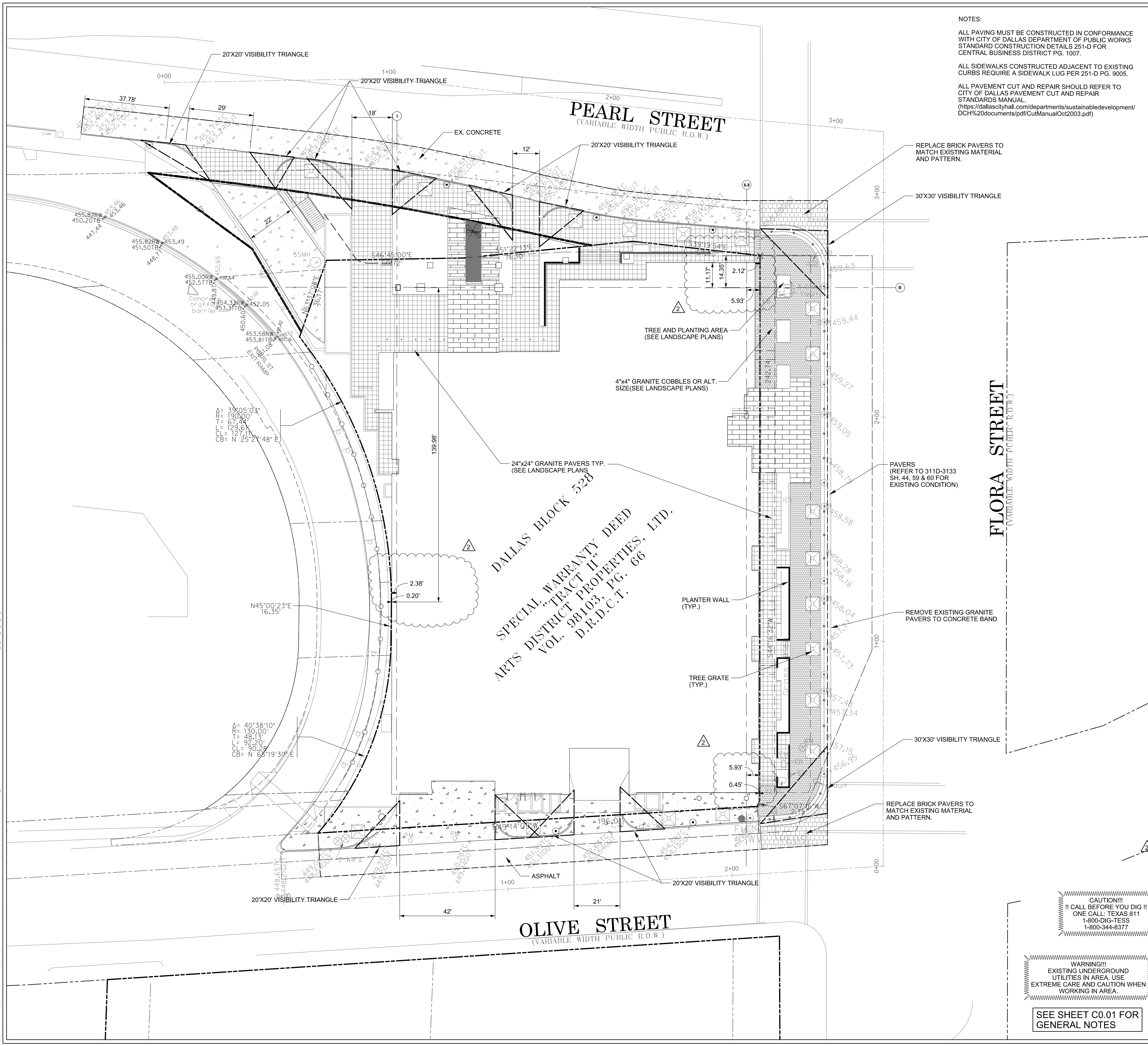
- INFRASTRUCTURE NOTES**
- ALL MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION FOR NORTH CENTRAL TEXAS, LATEST EDITION, AND THE CITY OF DALLAS DEPARTMENT OF PUBLIC WORKS AND TRANSPORTATION ADDENDUM.
 - DURING THE CONSTRUCTION OF THESE IMPROVEMENTS, ANY INTERPRETATION OF THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION FOR NORTH CENTRAL TEXAS, AND ANY MATTER WHICH REQUIRES THE APPROVAL OF THE OWNER, MUST BE APPROVED BY THE DIRECTOR OF PUBLIC WORKS AND TRANSPORTATION OR HIS DESIGNEE BEFORE ANY CONSTRUCTION INVOLVING THAT DECISION COMMENCES. ASSUMPTIONS ABOUT WHAT THESE DECISIONS MIGHT BE WHICH ARE MADE DURING THE BIDDING PHASE WILL HAVE NO BEARING ON THE DECISION.
 - FOR ADJUSTMENT OF DALLAS WATER UTILITIES APPURTENANCES OR TO VERIFY LOCATIONS OF EXISTING WATER AND WASTEWATER MAINS IN AREA, CALL (214) 670-177 AT LEAST (3) WORKING DAYS PRIOR TO CONSTRUCTION.
 - STREETS, ALLEYS, SIDEWALKS, DRIVEWAYS, AND STORM DRAINAGE FACILITIES IN THE PUBLIC RIGHT-OF-WAY SHALL BE CONSTRUCTED IN CONFORMANCE WITH THE CITY OF DALLAS, STANDARD CONSTRUCTION DETAILS, FILE 251-D, LATEST EDITION.
 - ALL CONCRETE FOR PAVEMENT SHALL BE 4000 PSI FOR MACHINE FINISH AND 4500 PSI IF IT IS NECESSARY FOR HAND FINISH.
 - IN ADDITION TO THE BUILDING PERMITS, A RIGHT-OF-WAY PERMIT AND TRAFFIC CONTROL APPROVAL MUST BE APPLIED FOR AND APPROVED PRIOR TO ANY WORK WITHIN THE RIGHT-OF-WAY.

- BENCHMARKS & CONTROL POINTS**
- DWU BENCHMARK: 'X' CUT ON CONCRETE CURB CENTER OF STORM SEWER INLET AT THE SOUTHEAST CORNER OF ALAMO ST. AND CEDAR SPRINGS RD. NORTHING 6974860.151 EASTING 2489331.029 ELEVATION 418.87 feet
 - CONTROL POINT #100: SET IRON ROD TRAVERSE POINT IN THE MEDIAN OF PEARL ST. LOCATED APPROX. 40' E NE OF A CURB INLET ON THE SW SIDE OF PEARL ST. NORTHING 6975411.25 EASTING 2491377.38 ELEVATION 454.47 feet

CAUTION!!!
 !! CALL BEFORE YOU DIG !!
 ONE CALL: TEXAS 811
 1-800-DIG-TESS
 1-800-344-8377

WARNING!!!
 EXISTING UNDERGROUND UTILITIES IN AREA. USE EXTREME CARE AND CAUTION WHEN WORKING IN AREA.

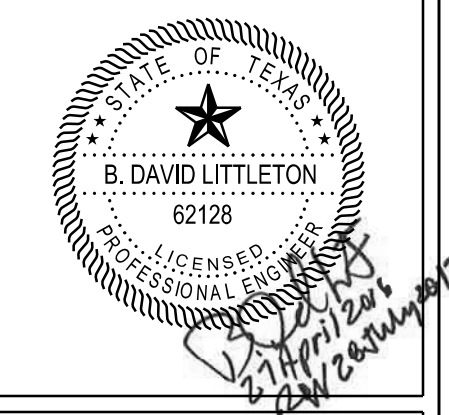
SEE SHEET C0.01 FOR GENERAL NOTES



ATELIER TOWER
FLORA STREET
 CITY OF DALLAS, TEXAS

HALFF
 1201 NORTH BOWSER ROAD
 RICHARDSON, TEXAS 75081-5275
 FAX (214) 758-0905

Revision No.	Date	Description	Site plan changes	Additional Dimension per Owner
1	11/14/2016			
2	07/29/2017			



THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY B. DAVID LITTLETON, P.E. #62128 ON 04-27-2016. ALTERATION OF A SEALED DOCUMENT WITHOUT PROPER NOTIFICATION TO THE RESPONSIBLE ENGINEER IS AN OFFENSE UNDER THE TEXAS ENGINEERING PRACTICE ACT. THE RECORD COPY OF THIS DRAWING IS ON FILE AT THE OFFICES OF HALFF ASSOCIATES, INC. 1201 NORTH BOWSER ROAD, RICHARDSON, TEXAS 75081 TYPE FIRM #F-312

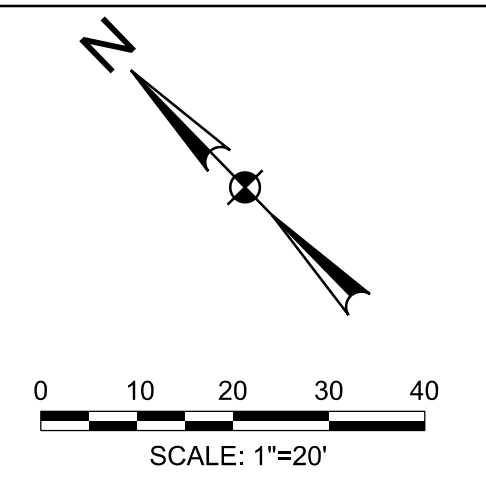
Project No.:	30735
Issued:	NOVEMBER, 2016
Drawn By:	CAD
Checked By:	KM / BDL
Scale:	AS SHOWN
Sheet Title	OVERALL PAVING PLAN

C2.01
 Sheet Number

CITY OF DALLAS 311T-8854

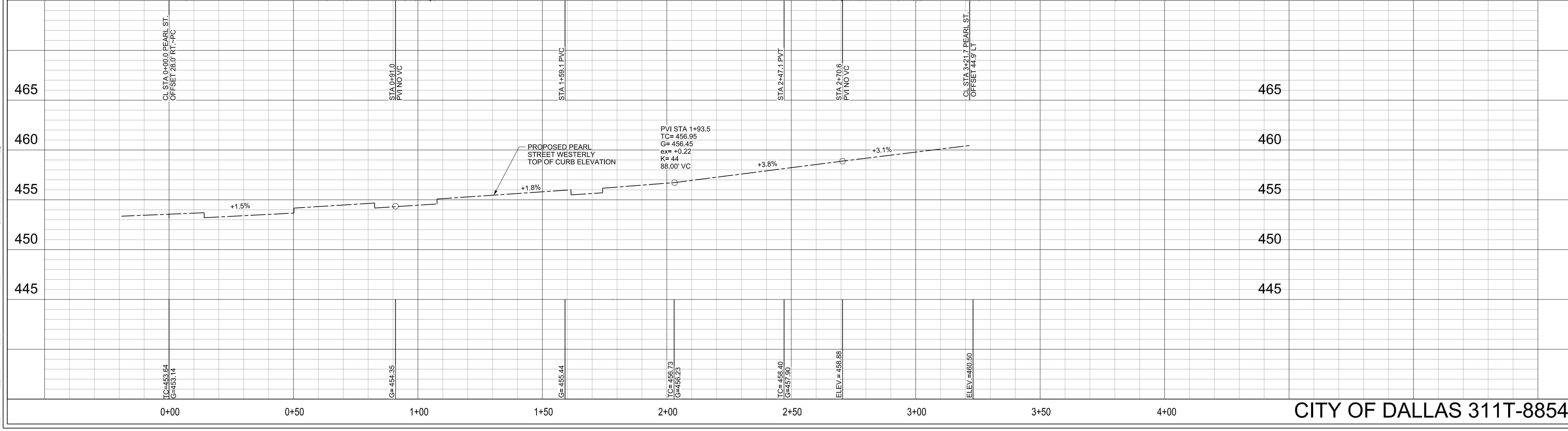
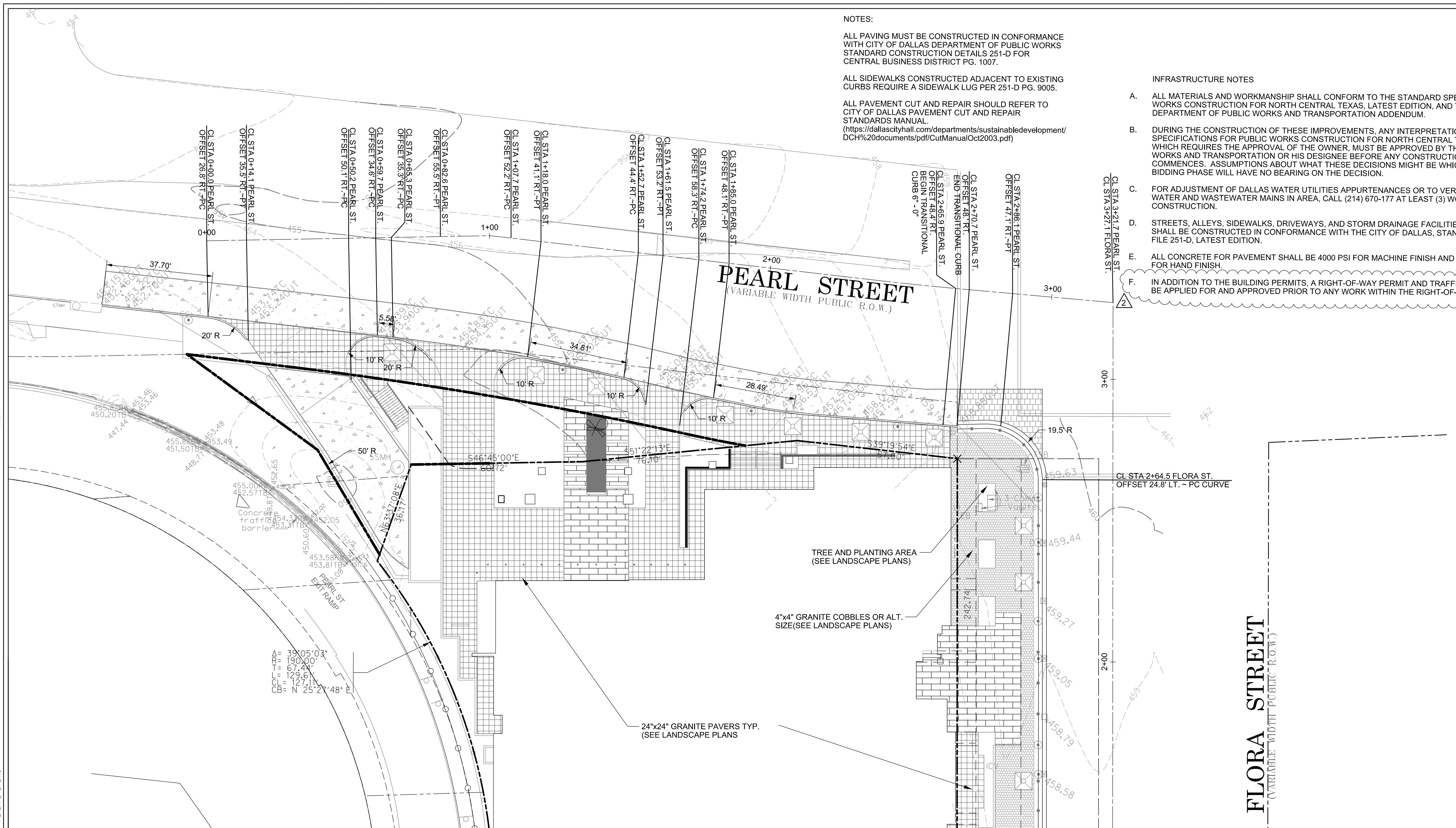
NOTES:
 ALL PAVING MUST BE CONSTRUCTED IN CONFORMANCE WITH CITY OF DALLAS DEPARTMENT OF PUBLIC WORKS STANDARD CONSTRUCTION DETAILS 251-D FOR CENTRAL BUSINESS DISTRICT PG. 1007.
 ALL SIDEWALKS CONSTRUCTED ADJACENT TO EXISTING CURBS REQUIRE A SIDEWALK LUG PER 251-D PG. 9005.
 ALL PAVEMENT CUT AND REPAIR SHOULD REFER TO CITY OF DALLAS PAVEMENT CUT AND REPAIR STANDARDS MANUAL.
 (https://dallascityhall.com/departments/sustainabledevelopment/DCH%20documents/pdf/CutManualOct2003.pdf)

- INFRASTRUCTURE NOTES
- ALL MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION FOR NORTH CENTRAL TEXAS, LATEST EDITION, AND THE CITY OF DALLAS DEPARTMENT OF PUBLIC WORKS AND TRANSPORTATION ADDENDUM.
 - DURING THE CONSTRUCTION OF THESE IMPROVEMENTS, ANY INTERPRETATION OF THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION FOR NORTH CENTRAL TEXAS, AND ANY MATTER WHICH REQUIRES THE APPROVAL OF THE OWNER, MUST BE APPROVED BY THE DIRECTOR OF PUBLIC WORKS AND TRANSPORTATION OR HIS DESIGNEE BEFORE ANY CONSTRUCTION INVOLVING THAT DECISION COMMENCES. ASSUMPTIONS ABOUT WHAT THESE DECISIONS MIGHT BE WHICH ARE MADE DURING THE BIDDING PHASE WILL HAVE NO BEARING ON THE DECISION.
 - FOR ADJUSTMENT OF DALLAS WATER UTILITIES APPURTENANCES OR TO VERIFY LOCATIONS OF EXISTING WATER AND WASTEWATER MAINS IN AREA, CALL (214) 670-177 AT LEAST (3) WORKING DAYS PRIOR TO CONSTRUCTION.
 - STREETS, ALLEYS, SIDEWALKS, DRIVEWAYS, AND STORM DRAINAGE FACILITIES IN THE PUBLIC RIGHT-OF-WAY SHALL BE CONSTRUCTED IN CONFORMANCE WITH THE CITY OF DALLAS, STANDARD CONSTRUCTION DETAILS, FILE 251-D, LATEST EDITION.
 - ALL CONCRETE FOR PAVEMENT SHALL BE 4000 PSI FOR MACHINE FINISH AND 4500 PSI IF IT IS NECESSARY FOR HAND FINISH.
 - IN ADDITION TO THE BUILDING PERMITS, A RIGHT-OF-WAY PERMIT AND TRAFFIC CONTROL APPROVAL MUST BE APPLIED FOR AND APPROVED PRIOR TO ANY WORK WITHIN THE RIGHT-OF-WAY.



- EXISTING LEGEND
- PROPERTY LINE
 - EASEMENT LINE
 - EASEMENT LINE
 - 604 --- CONTOUR
 - ⊕ FH FIRE HYDRANT
 - ⊕ IFCV IRRIGATION CONTROL VALVE
 - ⊕ WM WATER METER
 - ⊕ WV WATER VALVE
 - EX. 8" WATER --- WATER LINE
 - ⊕ SSMH SANITARY SEWER MANHOLE
 - EX. 8" SS --- SANITARY SEWER LINE
 - ⊕ STMH STORM MANHOLE
 - ⊕ SI STORM INLET
 - 21" RCP --- STORM LINE
 - ⊕ GM GAS METER
 - ⊕ GF GAS FLAG
 - ⊕ TP TELEPHONE MANHOLE
 - ⊕ SIGN SIGN
 - ⊕ TS TRAFFIC SIGN
 - ⊕ PM PARKING METER
 - ⊕ TSB TRAFFIC SIGNAL BOX

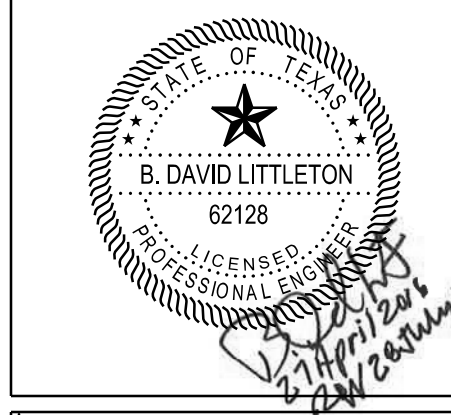
- LEGEND
- ⊕ ALL PROPOSED PAVING WORK WITHIN CITY CBD RIGHT-OF-WAY MUST BE MINIMUM 10" THICK CONCRETE ON 4" CTB, 650 PSI, 4,500 PSI, AND REINFORCED WITH #4 BARS. STANDARD SUBGRADE COMPACTION IS 98% STANDARD PROCTOR DENSITY AT MINUS 2% TO PLUS 4% OF OPTIMUM MOISTURE TO THE DEPTH SPECIFIED. (PER 251-D PG. 1007)
 - COLORED CONCRETE PAVEMENT (REFER TO LANDSCAPE PLANS FOR SPECIFICATION)
 - 3" ASPHALT OVERLAY OVER CONCRETE BASE TO MATCH EXISTING MATERIAL IN OLIVE ST.
 - 12"x24"x2" GRANITE PAVERS (REFER TO LANDSCAPE PLANS FOR SPECIFICATION)
 - 14"x36"x4" GRANITE PAVERS (REFER TO LANDSCAPE PLANS FOR SPECIFICATION)



ATELIER TOWER
FLORA STREET
 CITY OF DALLAS, TEXAS



Revision No.	Date	Description
1	11/14/2016	Site plan changes
2	07/29/2017	Infrastructure note added

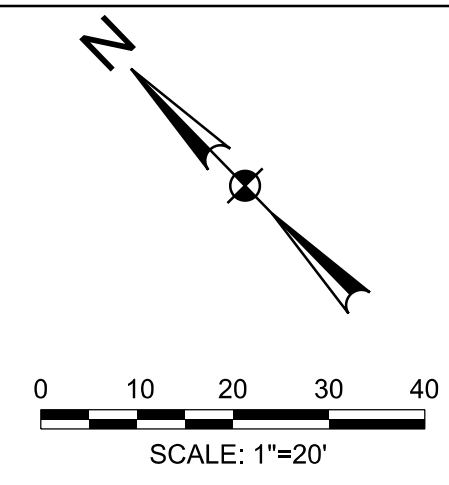
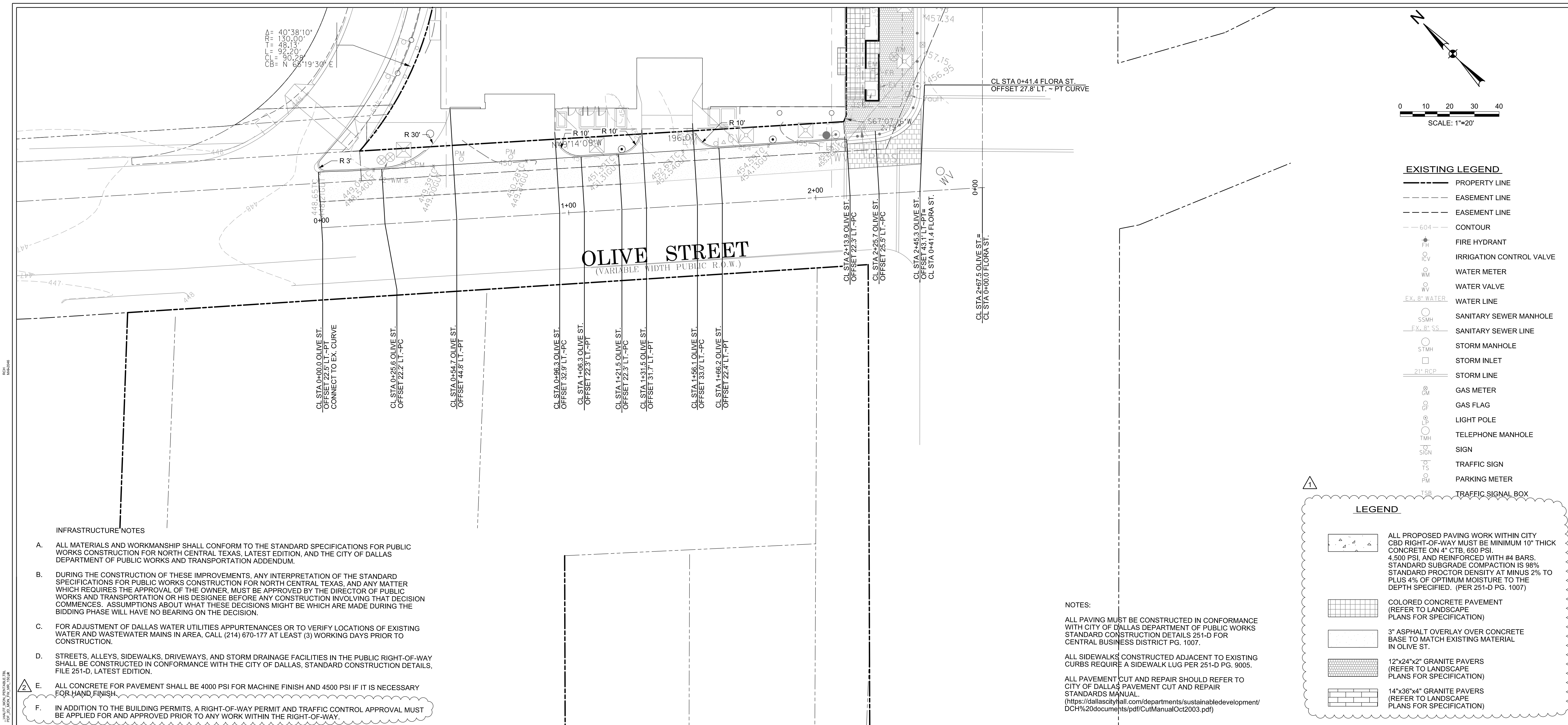


THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY B. DAVID LITTLETON, P.E. #62128 ON 04-27-2016. ALTERATION OF A SEALED DOCUMENT WITHOUT PROPER NOTIFICATION TO THE RESPONSIBLE ENGINEER IS AN OFFENSE UNDER THE TEXAS ENGINEERING PRACTICE ACT. THE RECORD COPY OF THIS DRAWING IS ON FILE AT THE OFFICES OF HALFF ASSOCIATES, INC. 1201 NORTH BOWSER ROAD, RICHARDSON, TEXAS 75081 TYPE FIRM #F-312

Project No.: 30735
 Issued: NOVEMBER, 2016
 Drawn By: CAD
 Checked By: KM / BDL
 Scale: AS SHOWN

Sheet Title
PEARL ST. PAVING PLAN

C2.02
 Sheet Number

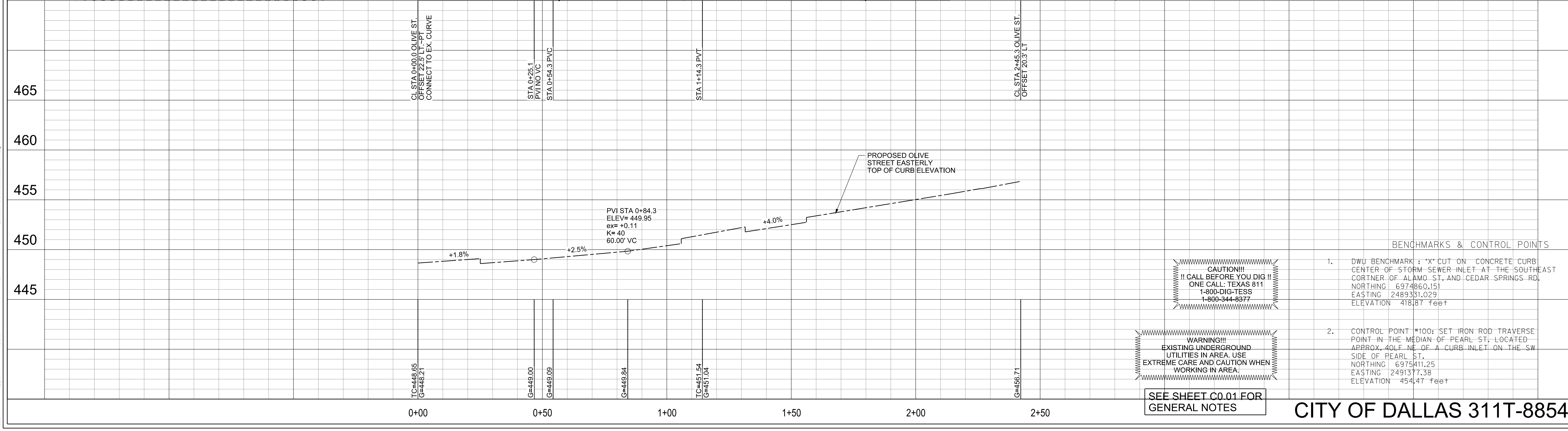


- EXISTING LEGEND**
- PROPERTY LINE
 - EASEMENT LINE
 - EASEMENT LINE
 - 604 --- CONTOUR
 - FH FIRE HYDRANT
 - IVC IRRIGATION CONTROL VALVE
 - WM WATER METER
 - WV WATER VALVE
 - EX. 8" WATER --- WATER LINE
 - SSMH SANITARY SEWER MANHOLE
 - EX. 8" SS --- SANITARY SEWER LINE
 - STMH STORM MANHOLE
 - STMI STORM INLET
 - 21" RCP --- STORM LINE
 - GM GAS METER
 - GF GAS FLAG
 - LP LIGHT POLE
 - TMH TELEPHONE MANHOLE
 - SIGN SIGN
 - TS TRAFFIC SIGN
 - PM PARKING METER
 - TSB TRAFFIC SIGNAL BOX

- LEGEND**
- ALL PROPOSED PAVING WORK WITHIN CITY CBD RIGHT-OF-WAY MUST BE MINIMUM 10" THICK CONCRETE ON 4" CTB, 650 PSI, 4,500 PSI, AND REINFORCED WITH #4 BARS. STANDARD SUBGRADE COMPACTION IS 98% PLUS 4% OF OPTIMUM MOISTURE TO THE DEPTH SPECIFIED. (PER 251-D PG. 1007)
 - COLORED CONCRETE PAVEMENT (REFER TO LANDSCAPE PLANS FOR SPECIFICATION)
 - 3" ASPHALT OVERLAY OVER CONCRETE BASE TO MATCH EXISTING MATERIAL IN OLIVE ST.
 - 12"x24"x2" GRANITE PAVERS (REFER TO LANDSCAPE PLANS FOR SPECIFICATION)
 - 14"x36"x4" GRANITE PAVERS (REFER TO LANDSCAPE PLANS FOR SPECIFICATION)

- INFRASTRUCTURE NOTES**
- A. ALL MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION FOR NORTH CENTRAL TEXAS, LATEST EDITION, AND THE CITY OF DALLAS DEPARTMENT OF PUBLIC WORKS AND TRANSPORTATION ADDENDUM.
 - B. DURING THE CONSTRUCTION OF THESE IMPROVEMENTS, ANY INTERPRETATION OF THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION FOR NORTH CENTRAL TEXAS, AND ANY MATTER WHICH REQUIRES THE APPROVAL OF THE OWNER, MUST BE APPROVED BY THE DIRECTOR OF PUBLIC WORKS AND TRANSPORTATION OR HIS DESIGNEE BEFORE ANY CONSTRUCTION INVOLVING THAT DECISION COMMENCES. ASSUMPTIONS ABOUT WHAT THESE DECISIONS MIGHT BE WHICH ARE MADE DURING THE BIDDING PHASE WILL HAVE NO BEARING ON THE DECISION.
 - C. FOR ADJUSTMENT OF DALLAS WATER UTILITIES APPURTENANCES OR TO VERIFY LOCATIONS OF EXISTING WATER AND WASTEWATER MAINS IN AREA, CALL (214) 670-177 AT LEAST (3) WORKING DAYS PRIOR TO CONSTRUCTION.
 - D. STREETS, ALLEYS, SIDEWALKS, DRIVEWAYS, AND STORM DRAINAGE FACILITIES IN THE PUBLIC RIGHT-OF-WAY SHALL BE CONSTRUCTED IN CONFORMANCE WITH THE CITY OF DALLAS, STANDARD CONSTRUCTION DETAILS, FILE 251-D, LATEST EDITION.
 - E. ALL CONCRETE FOR PAVEMENT SHALL BE 4000 PSI FOR MACHINE FINISH AND 4500 PSI IF IT IS NECESSARY FOR HAND FINISH.
 - F. IN ADDITION TO THE BUILDING PERMITS, A RIGHT-OF-WAY PERMIT AND TRAFFIC CONTROL APPROVAL MUST BE APPLIED FOR AND APPROVED PRIOR TO ANY WORK WITHIN THE RIGHT-OF-WAY.

- NOTES:**
- ALL PAVING MUST BE CONSTRUCTED IN CONFORMANCE WITH CITY OF DALLAS DEPARTMENT OF PUBLIC WORKS STANDARD CONSTRUCTION DETAILS 251-D FOR CENTRAL BUSINESS DISTRICT PG. 1007.
- ALL SIDEWALKS CONSTRUCTED ADJACENT TO EXISTING CURBS REQUIRE A SIDEWALK LUG PER 251-D PG. 9005.
- ALL PAVEMENT CUT AND REPAIR SHOULD REFER TO CITY OF DALLAS PAVEMENT CUT AND REPAIR STANDARDS MANUAL. (<https://dallascityhall.com/departments/sustainabledevelopment/DCH%20documents/pdf/CutManualOct2003.pdf>)



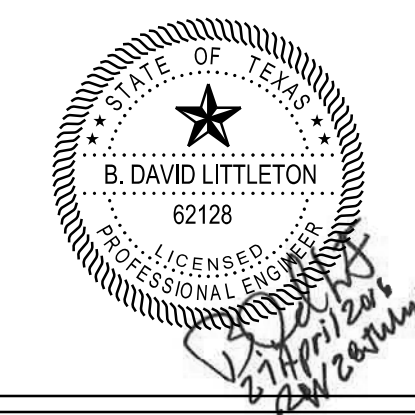
- BENCHMARKS & CONTROL POINTS**
1. DWU BENCHMARK : "X" CUT ON CONCRETE CURB CENTER OF STORM SEWER INLET AT THE SOUTHEAST CORNER OF ALAMO ST. AND CEDAR SPRINGS RD. NORTHING: 6974860.151 EASTING: 2489331.029 ELEVATION: 418.87 Feet
 2. CONTROL POINT #100: SET IRON ROD TRAVERSE POINT IN THE MEDIAN OF PEARL ST. LOCATED APPROX. 40 FEET NE OF A CURB INLET ON THE SW SIDE OF PEARL ST. NORTHING: 6975411.25 EASTING: 2491377.38 ELEVATION: 454.47 Feet

SEE SHEET C0.01 FOR GENERAL NOTES

ATELIER TOWER
FLORA STREET
CITY OF DALLAS, TEXAS

HALFF
1201 NORTH BOWSER ROAD
RICHARDSON, TEXAS 75081-2275
FAX (214) 738-0905

Revision No.	Date	Description
1	11/14/2016	Site plan changes
2	07/29/2017	Infrastructure note added



THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY B. DAVID LITTLETON, P.E. #62128 ON 04/27/2016. ALTERATION OF A SEALED DOCUMENT WITHOUT PROPER NOTIFICATION TO THE RESPONSIBLE ENGINEER IS AN OFFENSE UNDER THE TEXAS ENGINEERING PRACTICE ACT. THE RECORD COPY OF THIS DRAWING IS ON FILE AT THE OFFICES OF HALFF ASSOCIATES, INC. 1201 NORTH BOWSER ROAD, RICHARDSON, TEXAS 75081 TYPE FIRM #F-312

Project No.:	30735
Issued:	NOVEMBER, 2016
Drawn By:	CAD
Checked By:	KM / BDL
Scale:	AS SHOWN

Sheet Title
OLIVE ST. PAVING PLAN

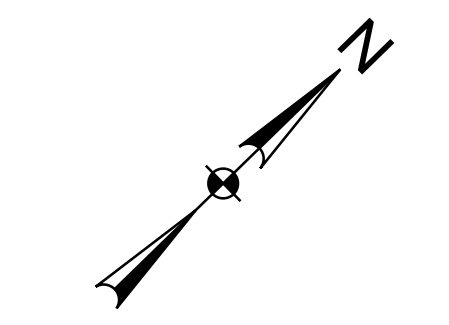
C2.03
Sheet Number

CITY OF DALLAS 311T-8854

OLIVE STREET
(VARIABLE WIDTH PUBLIC R.O.W.)

PEARL STREET
(VARIABLE WIDTH PUBLIC R.O.W.)

FLORA STREET
(VARIABLE WIDTH PUBLIC R.O.W.)



0 10 20 30 40
SCALE: 1"=20'

EXISTING LEGEND

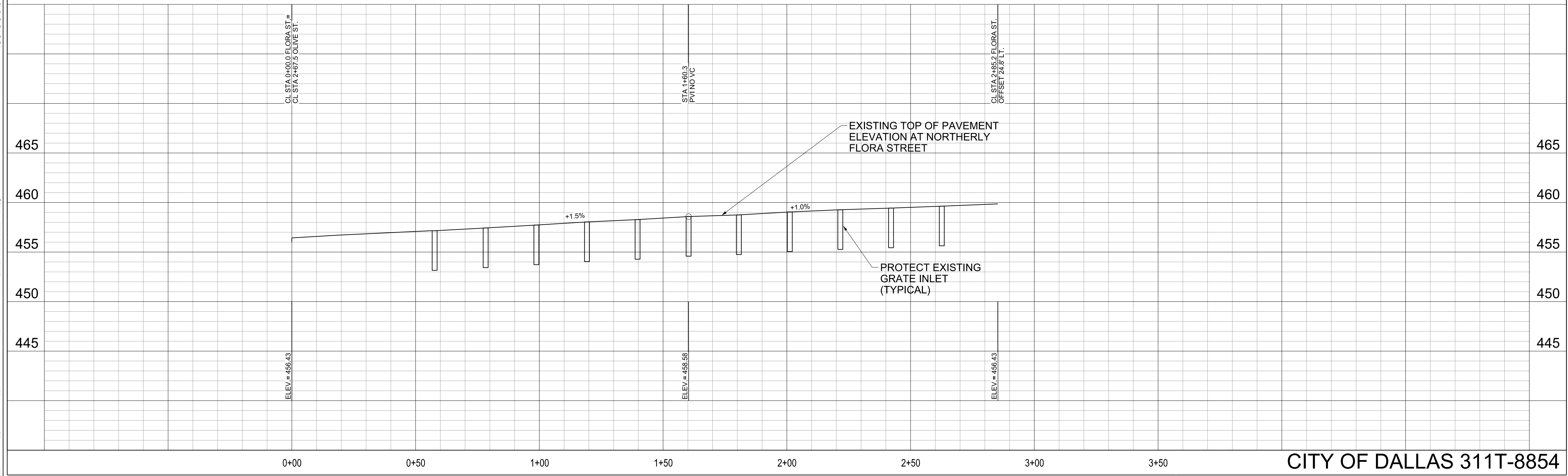
- PROPERTY LINE
- - - EASEMENT LINE
- - - EASEMENT LINE
- 604 --- CONTOUR
- ⊕ FH FIRE HYDRANT
- ⊕ IVC IRRIGATION CONTROL VALVE
- ⊕ WM WATER METER
- ⊕ WV WATER VALVE
- EX. 8" WATER WATER LINE
- ⊕ SSMH SANITARY SEWER MANHOLE
- EX. 8" S.S. SANITARY SEWER LINE
- ⊕ STMH STORM MANHOLE
- ⊕ STMI STORM INLET
- 21" RCP STORM LINE
- ⊕ GM GAS METER
- ⊕ GF GAS FLAG
- ⊕ LP LIGHT POLE
- ⊕ TMH TELEPHONE MANHOLE
- ⊕ SIGN SIGN
- ⊕ TS TRAFFIC SIGN
- ⊕ PM PARKING METER
- ⊕ TSB TRAFFIC SIGNAL BOX

LEGEND

- ALL PROPOSED PAVING WORK WITHIN CITY CBD RIGHT-OF-WAY MUST BE MINIMUM 10" THICK CONCRETE ON 4" C.B. 650 PSI, 4,500 PSI, AND REINFORCED WITH #4 BARS. STANDARD SUBGRADE COMPACTION IS 98% STANDARD PROCTOR DENSITY AT MINUS 2% TO PLUS 4% OF OPTIMUM MOISTURE TO THE DEPTH SPECIFIED. (PER 251-D PG. 1007)
- COLORED CONCRETE PAVEMENT (REFER TO LANDSCAPE PLANS FOR SPECIFICATION)
- 3" ASPHALT OVERLAY OVER CONCRETE BASE TO MATCH EXISTING MATERIAL IN OLIVE ST.
- 12"x24"x2" GRANITE PAVERS (REFER TO LANDSCAPE PLANS FOR SPECIFICATION)
- 14"x36"x4" GRANITE PAVERS (REFER TO LANDSCAPE PLANS FOR SPECIFICATION)

- INFRASTRUCTURE NOTES**
- A. ALL MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION FOR NORTH CENTRAL TEXAS, LATEST EDITION, AND THE CITY OF DALLAS DEPARTMENT OF PUBLIC WORKS AND TRANSPORTATION ADDENDUM.
 - B. DURING THE CONSTRUCTION OF THESE IMPROVEMENTS, ANY INTERPRETATION OF THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION FOR NORTH CENTRAL TEXAS, AND ANY MATTER WHICH REQUIRES THE APPROVAL OF THE OWNER, MUST BE APPROVED BY THE DIRECTOR OF PUBLIC WORKS AND TRANSPORTATION OR HIS DESIGNEE BEFORE ANY CONSTRUCTION INVOLVING THAT DECISION COMMENCES. ASSUMPTIONS ABOUT WHAT THESE DECISIONS MIGHT BE WHICH ARE MADE DURING THE BIDDING PHASE WILL HAVE NO BEARING ON THE DECISION.
 - C. FOR ADJUSTMENT OF DALLAS WATER UTILITIES APPURTENANCES OR TO VERIFY LOCATIONS OF EXISTING WATER AND WASTEWATER MAINS IN AREA, CALL (214) 670-177 AT LEAST (3) WORKING DAYS PRIOR TO CONSTRUCTION.
 - D. STREETS, ALLEYS, SIDEWALKS, DRIVEWAYS, AND STORM DRAINAGE FACILITIES IN THE PUBLIC RIGHT-OF-WAY SHALL BE CONSTRUCTED IN CONFORMANCE WITH THE CITY OF DALLAS, STANDARD CONSTRUCTION DETAILS, FILE 251-D, LATEST EDITION.
 - E. ALL CONCRETE FOR PAVEMENT SHALL BE 4000 PSI FOR MACHINE FINISH AND 4500 PSI IF IT IS NECESSARY FOR HAND FINISH.
 - F. IN ADDITION TO THE BUILDING PERMITS, A RIGHT-OF-WAY PERMIT AND TRAFFIC CONTROL APPROVAL MUST BE APPLIED FOR AND APPROVED PRIOR TO ANY WORK WITHIN THE RIGHT-OF-WAY.

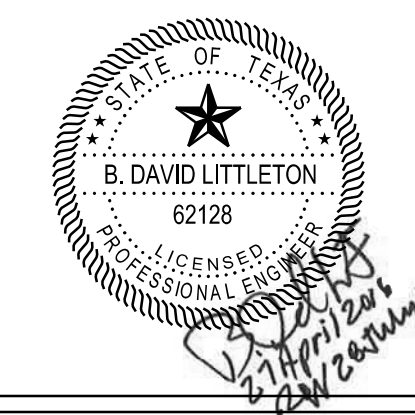
- NOTES:**
- ALL PAVING MUST BE CONSTRUCTED IN CONFORMANCE WITH CITY OF DALLAS DEPARTMENT OF PUBLIC WORKS STANDARD CONSTRUCTION DETAILS 251-D FOR CENTRAL BUSINESS DISTRICT PG. 1007.
 - ALL SIDEWALKS CONSTRUCTED ADJACENT TO EXISTING CURBS REQUIRE A SIDEWALK LUG PER 251-D PG. 9005.
 - ALL PAVEMENT CUT AND REPAIR SHOULD REFER TO CITY OF DALLAS PAVEMENT CUT AND REPAIR STANDARDS MANUAL (<https://dallascityhall.com/departments/sustainabledevelopment/DCH%20documents/pdf/CutManualOct2003.pdf>)



ATELIER TOWER
FLORA STREET
CITY OF DALLAS, TEXAS



Revision No.	Date	Description
1	11/14/2016	Site plan changes
2	07/29/2017	Infrastructure note added



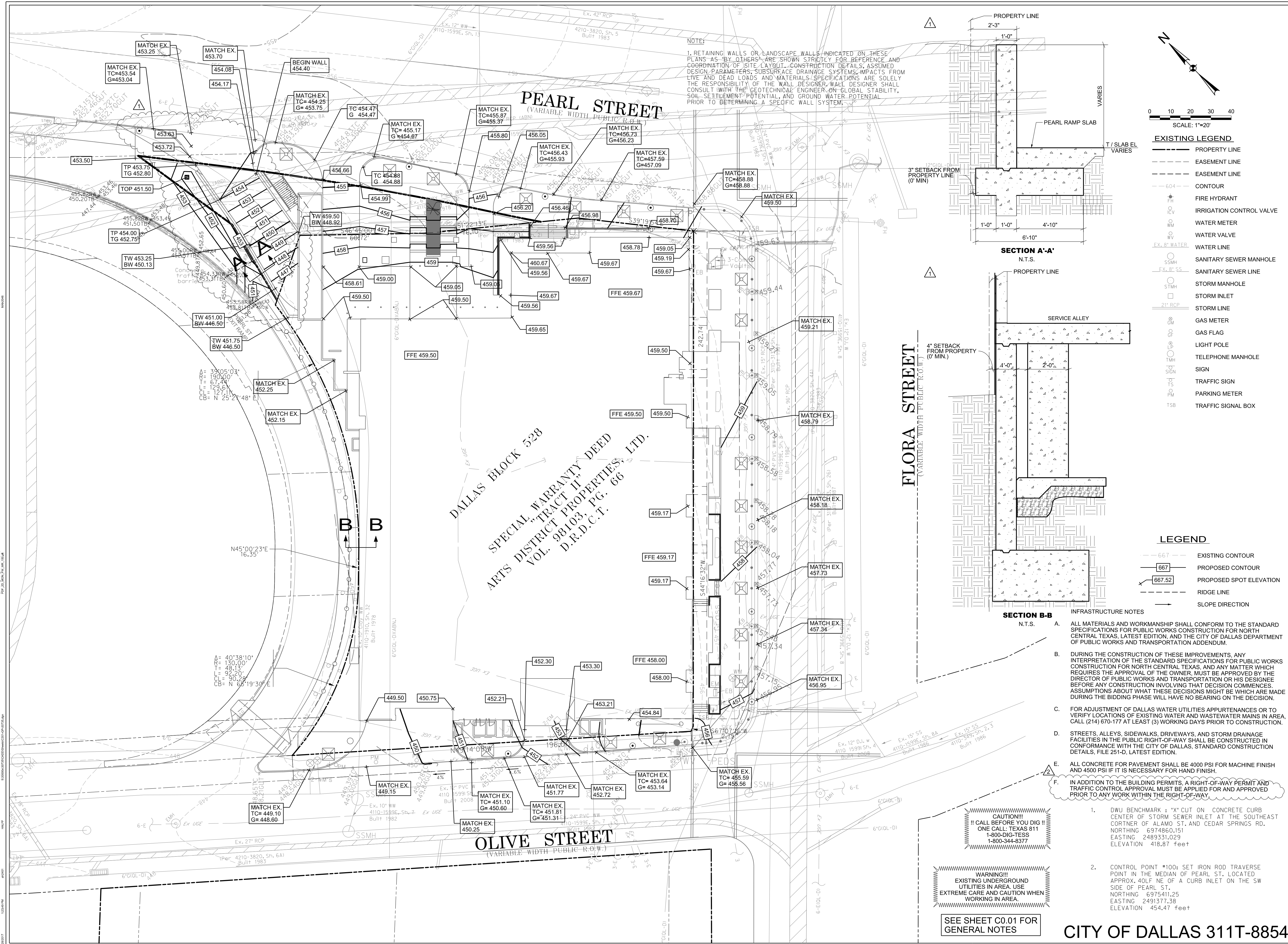
THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY B. DAVID LITTLETON, P.E. #62128 ON 04-27-2016. ALTERATION OF A SEALED DOCUMENT WITHOUT PROPER NOTIFICATION TO THE RESPONSIBLE ENGINEER IS AN OFFENSE UNDER THE TEXAS ENGINEERING PRACTICE ACT. THE RECORD COPY OF THIS DRAWING IS ON FILE AT THE OFFICES OF HALFF ASSOCIATES, INC. 1201 NORTH BOWSER ROAD, RICHARDSON, TEXAS 75081 TYPE FIRM #F-312

Project No.:	30735
Issued:	NOVEMBER, 2016
Drawn By:	CAD
Checked By:	KM / BDL
Scale:	AS SHOWN

Sheet Title
FLORA ST. PAVING PLAN

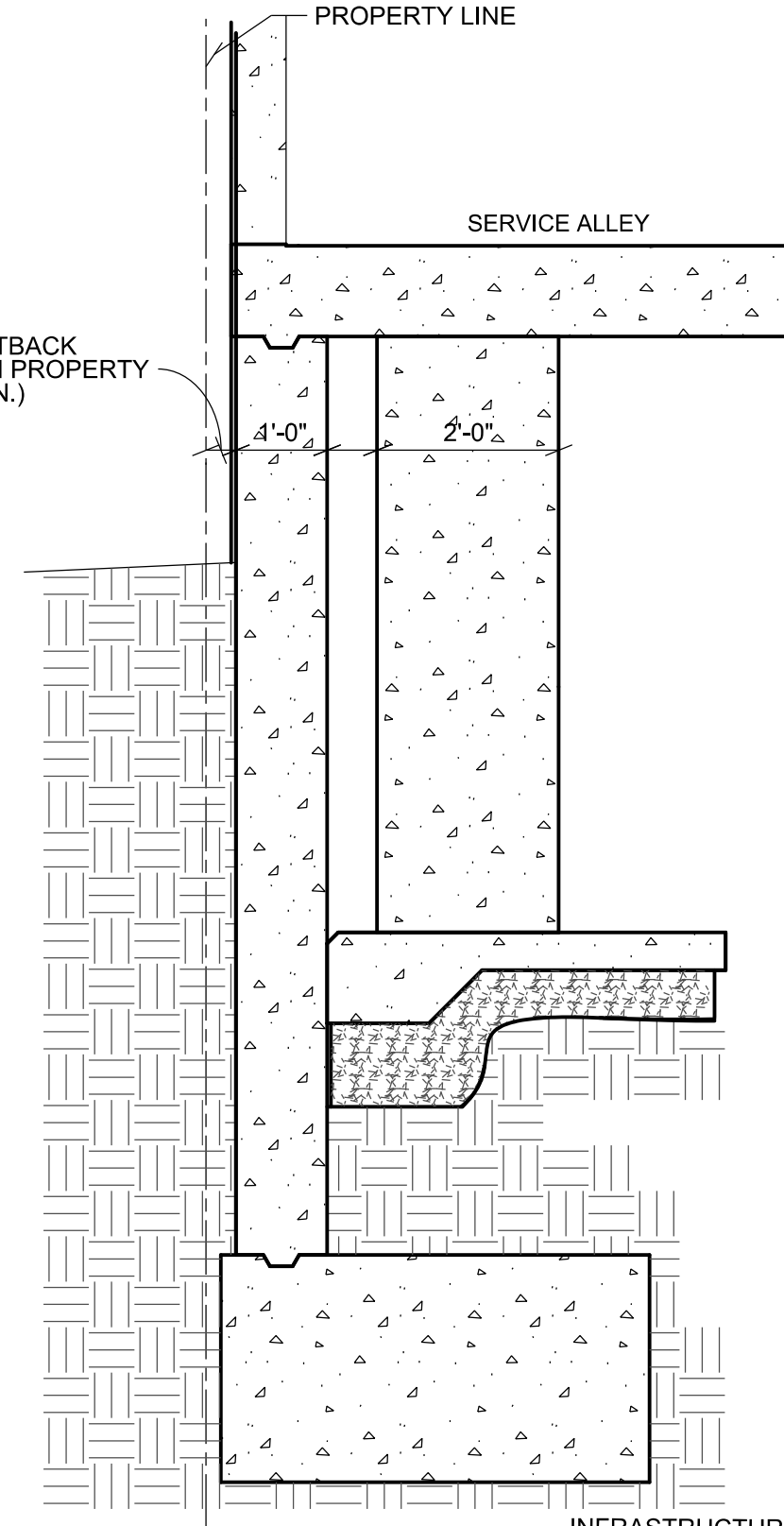
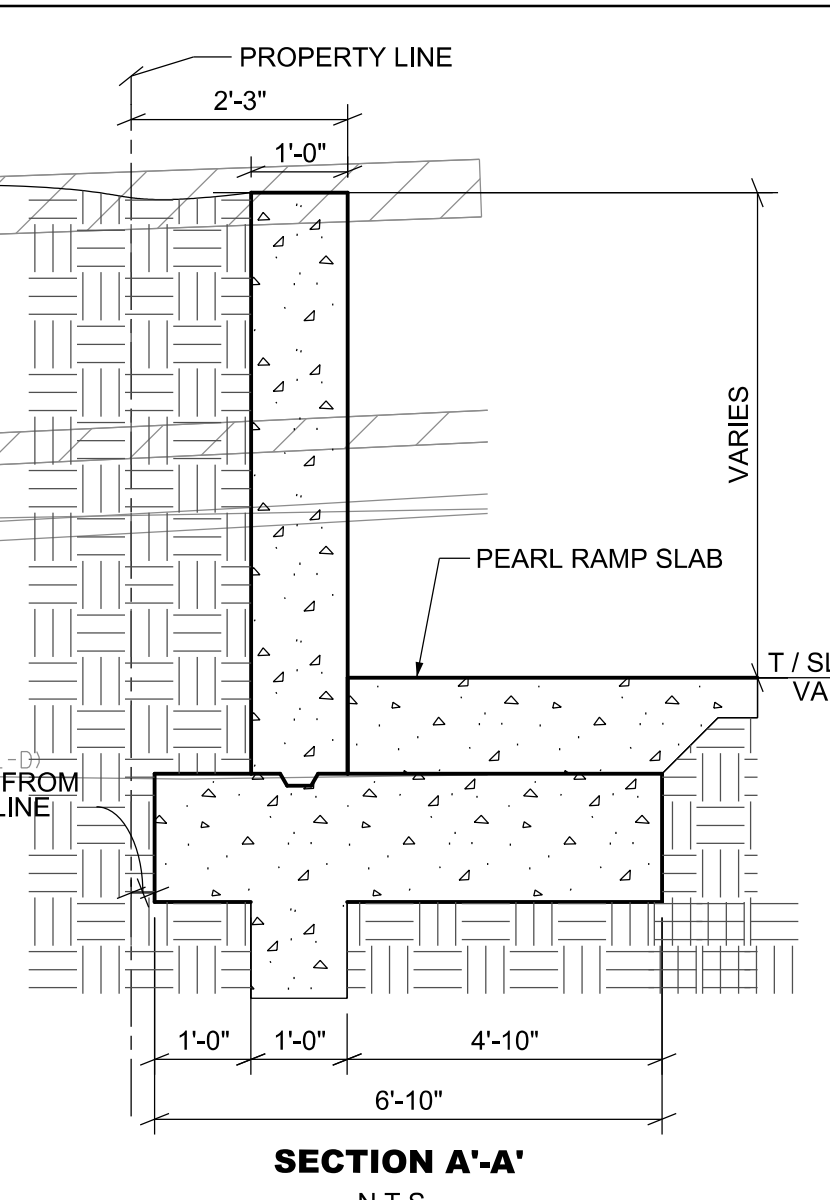
C2.04
Sheet Number

CITY OF DALLAS 311T-8854



NOTE:
 1. RETAINING WALLS OR LANDSCAPE WALLS INDICATED ON THESE PLANS AS "BY OTHERS" ARE SHOWN STRICTLY FOR REFERENCE AND COORDINATION OF SITE LAYOUT. CONSTRUCTION DETAILS, ASSUMED DESIGN PARAMETERS, SUBSURFACE DRAINAGE SYSTEMS, IMPACTS FROM LIVE AND DEAD LOADS AND MATERIALS SPECIFICATIONS ARE SOLELY THE RESPONSIBILITY OF THE WALL DESIGNER. WALL DESIGNER SHALL CONSULT WITH THE GEOTECHNICAL ENGINEER ON GLOBAL STABILITY, SOIL SETTLEMENT POTENTIAL, AND GROUND WATER POTENTIAL PRIOR TO DETERMINING A SPECIFIC WALL SYSTEM.

- SCALE: 1"=20'
- EXISTING LEGEND**
- PROPERTY LINE
 - - - EASEMENT LINE
 - - - EASEMENT LINE
 - CONTOUR
 - ⊕ FIRE HYDRANT
 - ⊕ IRRIGATION CONTROL VALVE
 - ⊕ WATER METER
 - ⊕ WATER VALVE
 - ⊕ EX. 8" WATER
 - ⊕ WATER LINE
 - ⊕ SANITARY SEWER MANHOLE
 - ⊕ EX. 8" SS
 - ⊕ SANITARY SEWER LINE
 - ⊕ STMH
 - ⊕ STORM MANHOLE
 - ⊕ STORM INLET
 - ⊕ STORM LINE
 - ⊕ GAS METER
 - ⊕ GAS FLAG
 - ⊕ LIGHT POLE
 - ⊕ TELEPHONE MANHOLE
 - ⊕ SIGN
 - ⊕ TRAFFIC SIGN
 - ⊕ PARKING METER
 - ⊕ TSB
 - ⊕ TRAFFIC SIGNAL BOX



- LEGEND**
- 667 --- EXISTING CONTOUR
 - 667 --- PROPOSED CONTOUR
 - 667.52 --- PROPOSED SPOT ELEVATION
 - - - RIDGE LINE
 - SLOPE DIRECTION

- INFRASTRUCTURE NOTES**
- A. ALL MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION FOR NORTH CENTRAL TEXAS, LATEST EDITION, AND THE CITY OF DALLAS DEPARTMENT OF PUBLIC WORKS AND TRANSPORTATION ADDENDUM.
 - B. DURING THE CONSTRUCTION OF THESE IMPROVEMENTS, ANY INTERPRETATION OF THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION FOR NORTH CENTRAL TEXAS, AND ANY MATTER WHICH REQUIRES THE APPROVAL OF THE OWNER, MUST BE APPROVED BY THE DIRECTOR OF PUBLIC WORKS AND TRANSPORTATION OR HIS DESIGNEE BEFORE ANY CONSTRUCTION INVOLVING THAT DECISION COMMENCES. ASSUMPTIONS ABOUT WHAT THESE DECISIONS MIGHT BE WHICH ARE MADE DURING THE BIDDING PHASE WILL HAVE NO BEARING ON THE DECISION.
 - C. FOR ADJUSTMENT OF DALLAS WATER UTILITIES APPURTENANCES OR TO VERIFY LOCATIONS OF EXISTING WATER AND WASTEWATER MAINS IN AREA, CALL (214) 670-177 AT LEAST (3) WORKING DAYS PRIOR TO CONSTRUCTION.
 - D. STREETS, ALLEYS, SIDEWALKS, DRIVEWAYS, AND STORM DRAINAGE FACILITIES IN THE PUBLIC RIGHT-OF-WAY SHALL BE CONSTRUCTED IN CONFORMANCE WITH THE CITY OF DALLAS, STANDARD CONSTRUCTION DETAILS, FILE 251-D, LATEST EDITION.
 - E. ALL CONCRETE FOR PAVEMENT SHALL BE 4000 PSI FOR MACHINE FINISH AND 4500 PSI IF IT IS NECESSARY FOR HAND FINISH.
 - F. IN ADDITION TO THE BUILDING PERMITS, A RIGHT-OF-WAY PERMIT AND TRAFFIC CONTROL APPROVAL MUST BE APPLIED FOR AND APPROVED PRIOR TO ANY WORK WITHIN THE RIGHT-OF-WAY.

CAUTION!!!
 CALL BEFORE YOU DIG !!
 ONE CALL TEXAS 811
 1-800-DIG-TESS
 1-800-344-8377

WARNING!!!
 EXISTING UNDERGROUND UTILITIES IN AREA. USE EXTREME CARE AND CAUTION WHEN WORKING IN AREA.

SEE SHEET C0.01 FOR GENERAL NOTES

1. DWU BENCHMARK : 'X' CUT ON CONCRETE CURB CENTER OF STORM SEWER INLET AT THE SOUTHEAST CORNER OF ALAMO ST. AND CEDAR SPRINGS RD. NORTHING 6974860.151 EASTING 2489331.029 ELEVATION 418.87 feet
2. CONTROL POINT #100: SET IRON ROD TRAVERSE POINT IN THE MEDIAN OF PEARL ST. LOCATED APPROX. 40LF NE OF A CURB INLET ON THE SW SIDE OF PEARL ST. NORTHING 6975411.25 EASTING 2491377.38 ELEVATION 454.47 feet

ATELIER TOWER
 FLORA STREET
 CITY OF DALLAS, TEXAS



Revision No.	Date	Description
1	11/14/2016	Site plan changes
2	07/29/2017	Infrastructure note added



THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY B. DAVID LITTLETON, P.E. #62128 ON 04/27/2016. ALTERATION OF A SEALED DOCUMENT WITHOUT PROPER NOTIFICATION TO THE RESPONSIBLE ENGINEER IS AN OFFENSE UNDER THE TEXAS ENGINEERING PRACTICE ACT. THE RECORD COPY OF THIS DRAWING IS ON FILE AT THE OFFICES OF HALFF ASSOCIATES, INC. 1201 NORTH BOWSER ROAD, RICHARDSON, TEXAS 75081 1896 FIRM #F-312

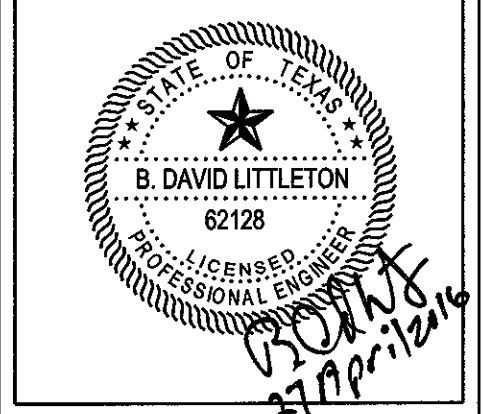
Project No.: 30735
 Issued: NOVEMBER, 2016
 Drawn By: CAD
 Checked By: KM / BDL
 Scale: AS SHOWN
 Sheet Title: GRADING PLAN
 Sheet Number: C3.01

CITY OF DALLAS 311T-8854

ATELIER TOWER
FLORA STREET
 CITY OF DALLAS, TEXAS



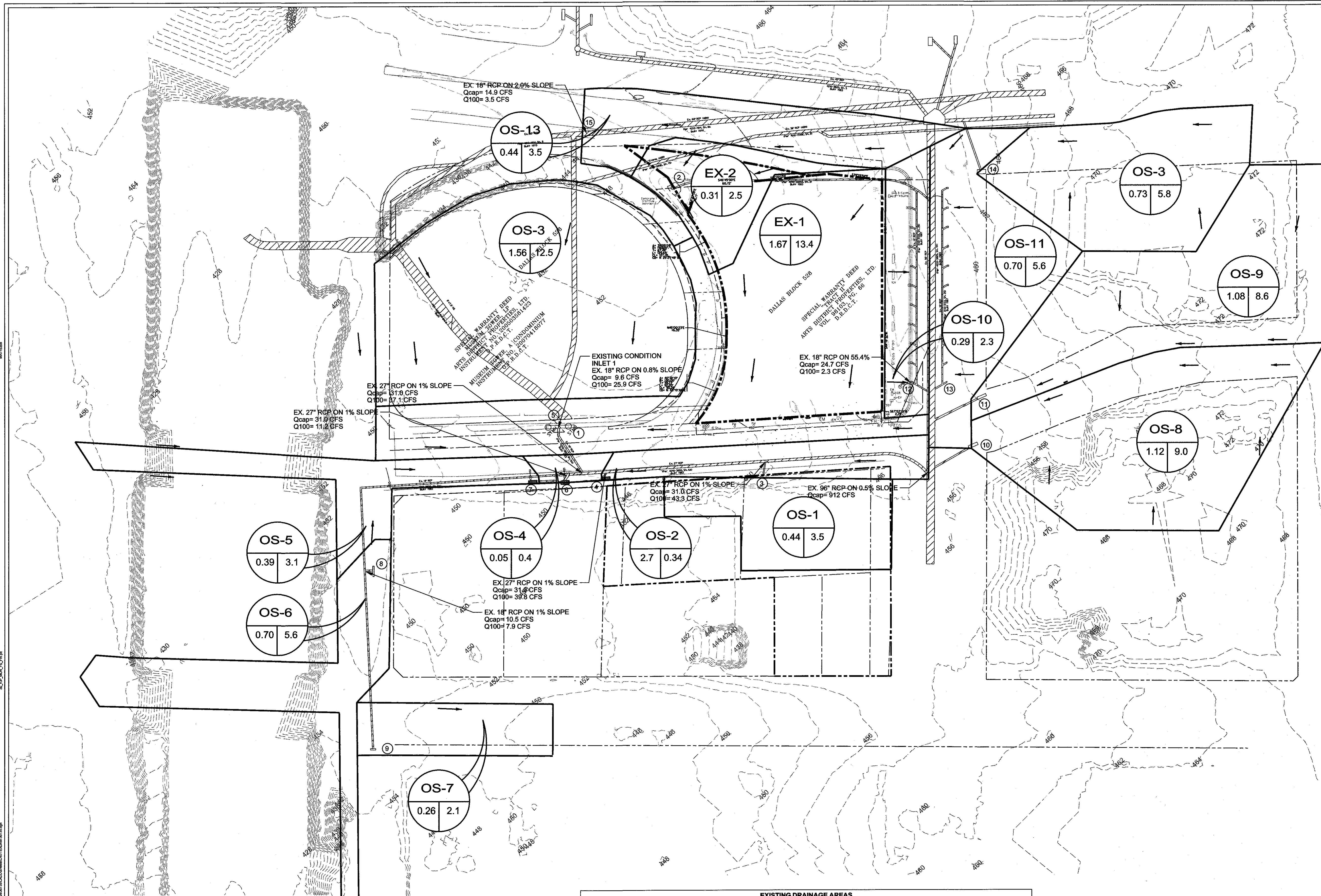
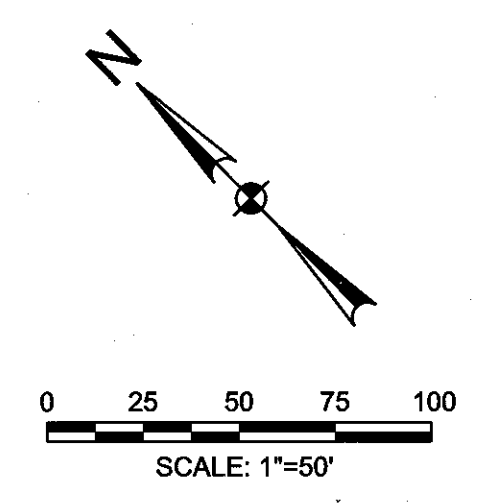
Revision No.	Date	Description



THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY B. DAVID LITTLETON, P.E., REG. 62128 ON 04-27-2016. ALTERATION OF A SEALED DOCUMENT WITHOUT PROPER NOTIFICATION TO THE RESPONSIBLE ENGINEER IS AN OFFENSE UNDER THE TEXAS ENGINEERING PRACTICE ACT. THE RECORD COPY OF THIS DRAWING IS ON FILE AT THE OFFICE OF HALFF ASSOCIATES, INC. 1201 NORTH BOWSER ROAD, RICHARDSON, TEXAS 75081. TPEE FORM #F-312

Project No.: 30735
 Issued: MARCH, 2016
 Drawn By: CAD
 Checked By: KM / BDL
 Scale: AS SHOWN
 Sheet Title

EXISTING DRAINAGE AREA MAP
 C4.01
 Sheet Number



DRAINAGE AREA DESIGN CRITERIA

DRAINAGE AREA DESIGNATION: A1

AREA IN ACRES: 0.56 | 4.08

100 YEAR RUNOFF

$Q_{100} = C \cdot I \cdot A$
 C = Runoff coefficient = 0.90
 I₁₀₀ = Rainfall intensity = 8.88 in/hr
 A = Area in acres
 Q_A = Allowable Discharge
 Q_P = Proposed Discharge

EXISTING DRAINAGE AREAS						
	AREA (acres)	C	T _c (min)	I ₁₀₀ (in/hr)	Q ₁₀₀ (cfs)	COMMENTS
EX-1	1.67	0.90	10.0	8.88	13.35	TO INLET: 2-14' CURB INLETS (1)
EX-2	0.31	0.90	10.0	8.88	2.48	TO INLET: 2-GRATE INLET (2)
OS-1	0.44	0.90	10.0	8.88	3.52	TO PRIVATE SYSTEM: NASHER SCULPTURE GARDEN (3)
OS-2	0.34	0.90	10.0	8.88	2.72	TO INLET: COMBINATION 8' CURB/ 3-GRATE INLET (4)
OS-3	1.56	0.90	10.0	8.88	12.47	TO PRIVATE SYSTEM: MUSEUM TOWER (5)
OS-4	0.05	0.90	10.0	8.88	0.40	TO INLET: 6-GRATE INLET (6)
OS-5	0.39	0.90	10.0	8.88	3.12	TO INLET: COMBINATION 8' CURB/ 3-GRATE INLET (7)
OS-6	0.7	0.90	10.0	8.88	5.59	TO INLET: 14' CURB INLET (8)
OS-7	0.26	0.90	10.0	8.88	2.08	TO INLET: COMBINATION 5' CURB/ 1-GRATE INLET (9)
OS-8	1.12	0.90	10.0	8.88	8.95	TO INLET: 4' CURB INLET (10)
OS-9	1.08	0.90	10.0	8.88	8.63	TO INLET: 4' CURB INLET (11)
OS-10	0.29	0.90	10.0	8.88	2.32	TO PUBLIC SYSTEM: TO GRATE INLETS (PER 311D-3133 SH. 26) (12)
OS-11	0.7	0.90	10.0	8.88	5.59	TO PUBLIC SYSTEM: TO GRATE INLETS (PER 311D-3133 SH. 26) (13)
OS-12	0.73	0.90	10.0	8.88	5.83	TO INLET: 4' CURB INLET (14)
OS-13	0.44	0.90	10.0	8.88	3.52	TO INLET: 10' CURB INLET (15)

CAUTION!!!
 !! CALL BEFORE YOU DIG !!
 ONE CALL: TEXAS 811
 1-800-DIG-TESS
 1-800-344-8377

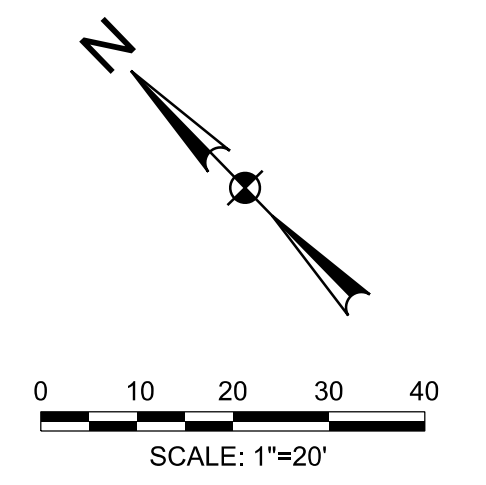
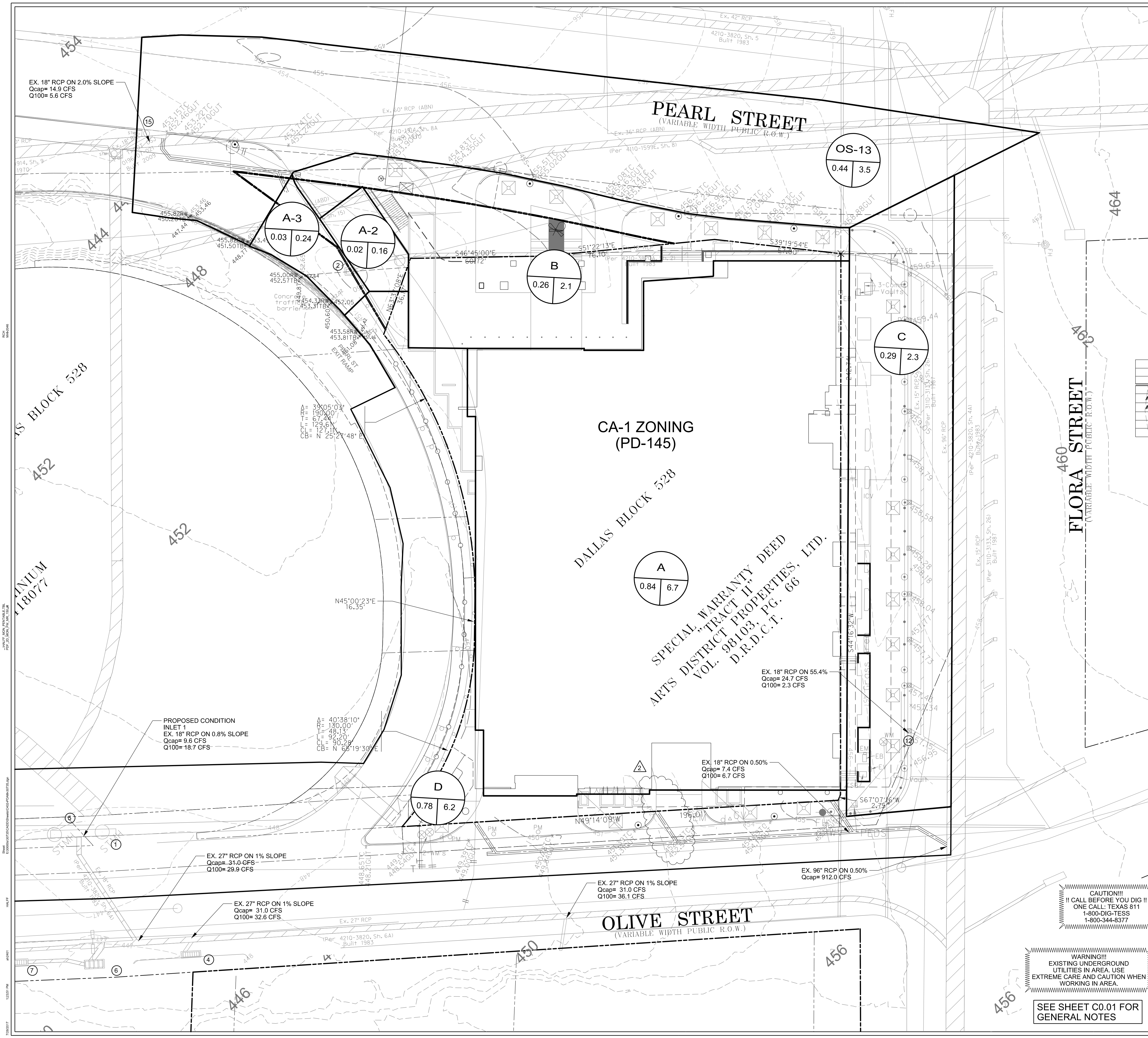
EXISTING UNDERGROUND UTILITIES IN AREA. USE EXTREME CARE AND CAUTION WHEN WORKING IN AREA.

SEE SHEET C0.01 FOR GENERAL NOTES

NOTE: EXISTING DRAINAGE AREAS COME FROM SURVEY INFORMATION AND 311T-6710 NASHER SCULPTURE CENTER PLANS. (PLANS INCLUDED IN SET)

- DWU BENCHMARK: 'X' CUT ON CONCRETE CURB CENTER OF STORM SEWER INLET AT THE SOUTHEAST CORNER OF ALAMO ST. AND CEDAR SPRINGS RD. NORTHING 6974860.151 EASTING 2489331.029 ELEVATION 418.87 Feet
- CONTROL POINT #100: SET IRON ROD TRAVERSE POINT IN THE MEDIAN OF PEARL ST. LOCATED APPROX. 40LF NE OF A CURB INLET ON THE SW SIDE OF PEARL ST. NORTHING 6975411.25 EASTING 2491377.38 ELEVATION 454.47 Feet

CITY OF DALLAS 311T-8854



DRAINAGE AREA DESIGN CRITERIA

DRAINAGE AREA DESIGNATION **A1**

AREA IN ACRES: 0.56 | 4.08

100 YEAR RUNOFF

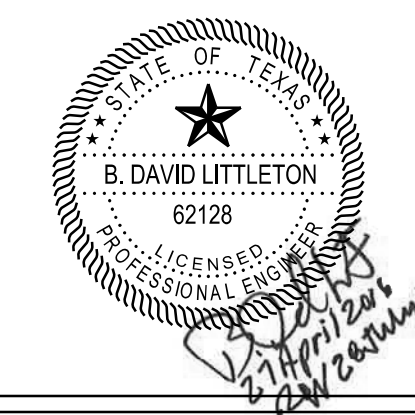
$Q_{100} = C I A$
 $C =$ Runoff coefficient = 0.90
 $I_{100} =$ Rainfall intensity = 8.88 in/hr
 $A =$ Area in acres
 $Q_A =$ Allowable Discharge
 $Q_P =$ Proposed Discharge

PROPOSED DRAINAGE AREAS					
AREA	C	Tc	I100	Q100	COMMENTS
(acres)		(min)	(in/hr)	(cfs)	
A	0.84	0.90	10.0	8.88	6.71 TO ROOF DRAIN SYSTEM
A-2	0.02	0.90	10.0	8.88	0.16 TO TRENCH TRAIN
A-3	0.03	0.90	10.0	8.88	0.24 TO EX. GRATE INLET (2)
B	0.26	0.90	10.0	8.88	2.08 TO 10' CURB INLET IN PEARL (15)
C	0.29	0.90	10.0	8.88	2.32 TO FLORA ST DRAINAGE SYSTEM (12)
D	0.78	0.90	10.0	8.88	6.23 TO EX CURB INLET IN OLIVE ST (1)

ATELIER TOWER
FLORA STREET
 CITY OF DALLAS, TEXAS



Revision No.	Date	Description
1	11/14/2016	Site plan changes
2	07/29/2017	Storm drain lateral added



THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY B. DAVID LITTLETON, P.E. #62128 ON 04/27/2016. ALTERATION OF A SEALED DOCUMENT WITHOUT PROPER NOTIFICATION TO THE RESPONSIBLE ENGINEER IS AN OFFENSE UNDER THE TEXAS ENGINEERING PRACTICE ACT. THE RECORD COPY OF THIS DRAWING IS ON FILE AT THE OFFICES OF HALFF ASSOCIATES, INC. 1201 NORTH BOWSER ROAD, RICHARDSON, TEXAS 75081 TYPE FIRM #F-312

Project No.:	30735
Issued:	NOVEMBER, 2016
Drawn By:	KAD
Checked By:	KM / BDL
Scale:	AS SHOWN

Sheet Title
PROPOSED DRAINAGE AREA MAP
 Sheet Number
C4.02

- DWU BENCHMARK : 'X' CUT ON CONCRETE CURB CENTER OF STORM SEWER INLET AT THE SOUTHEAST CORNER OF ALAMO ST. AND CEDAR SPRINGS RD. NORTHING 6974860.151 EASTING 2489331.029 ELEVATION 418.87 feet
- CONTROL POINT #100: SET IRON ROD TRAVERSE POINT IN THE MEDIAN OF PEARL ST. LOCATED APPROX. 40LF NE OF A CURB INLET ON THE SW SIDE OF PEARL ST. NORTHING 6975411.25 EASTING 2491377.38 ELEVATION 454.47 feet

CAUTION!!!
 !! CALL BEFORE YOU DIG !!
 ONE CALL: TEXAS 811
 1-800-DIG-TESS
 1-800-344-8377

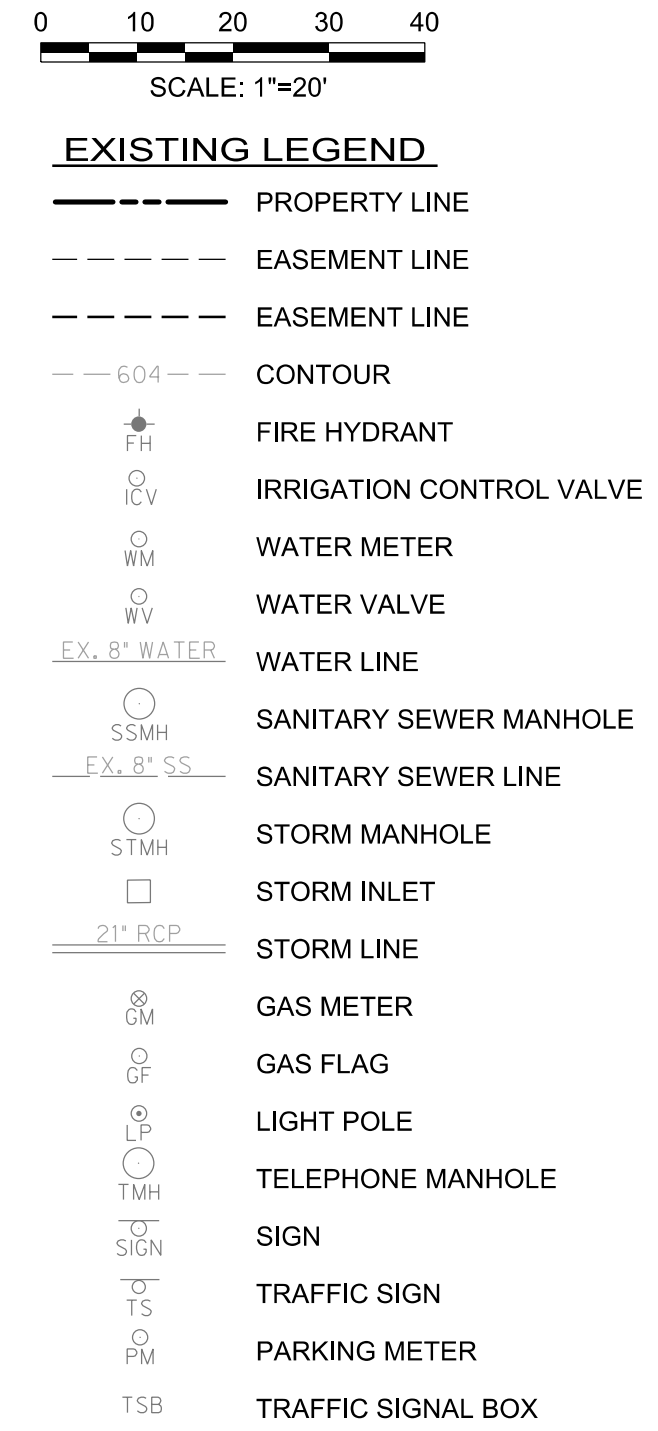
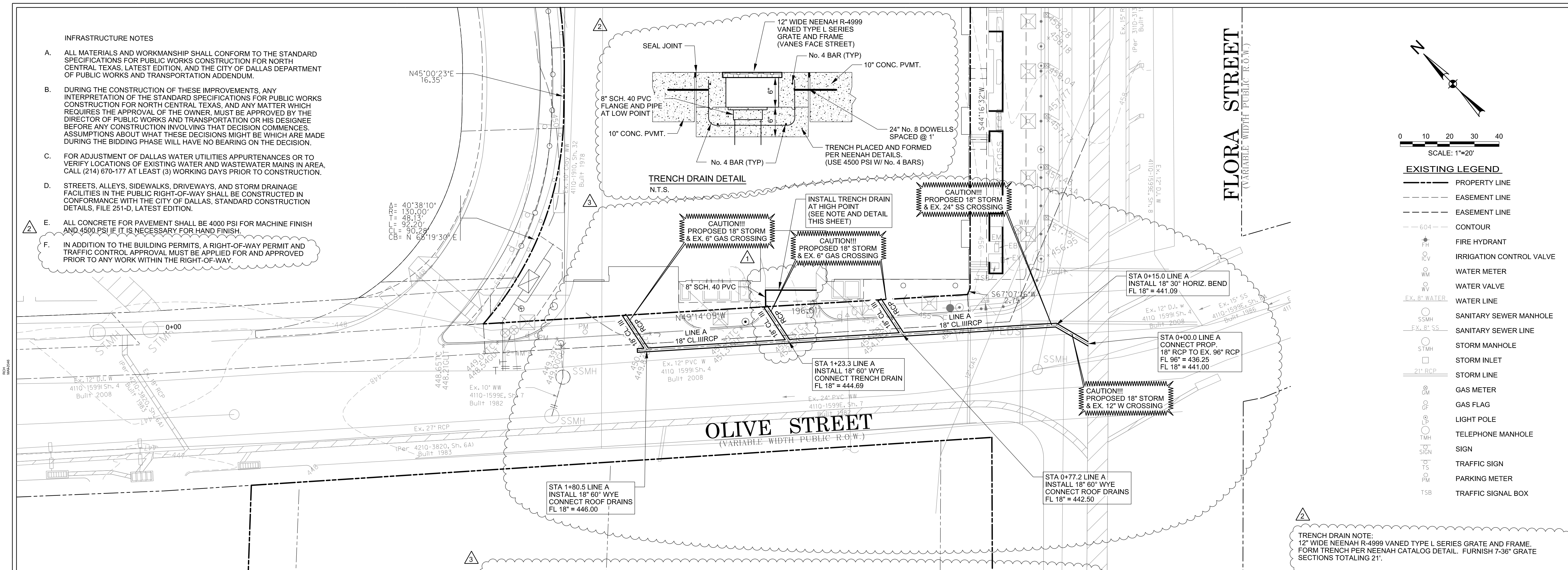
WARNING!!!
 EXISTING UNDERGROUND UTILITIES IN AREA. USE EXTREME CARE AND CAUTION WHEN WORKING IN AREA.

SEE SHEET C0.01 FOR GENERAL NOTES

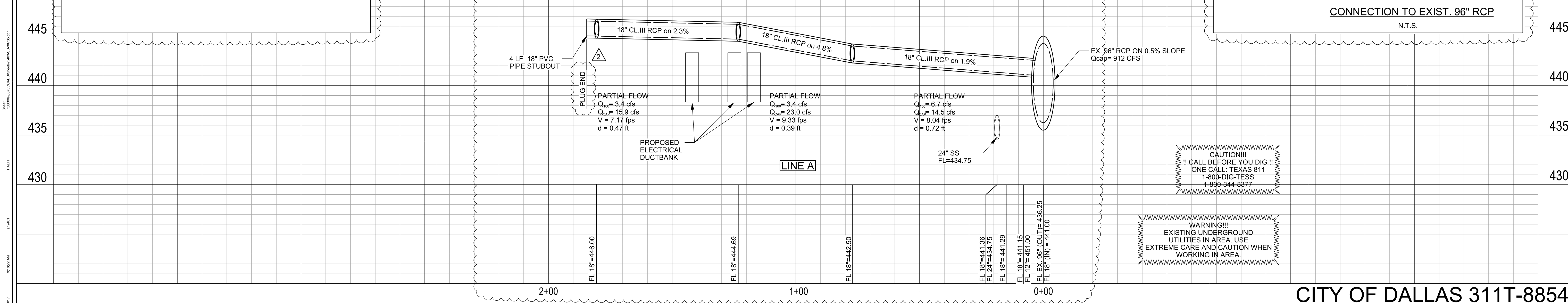
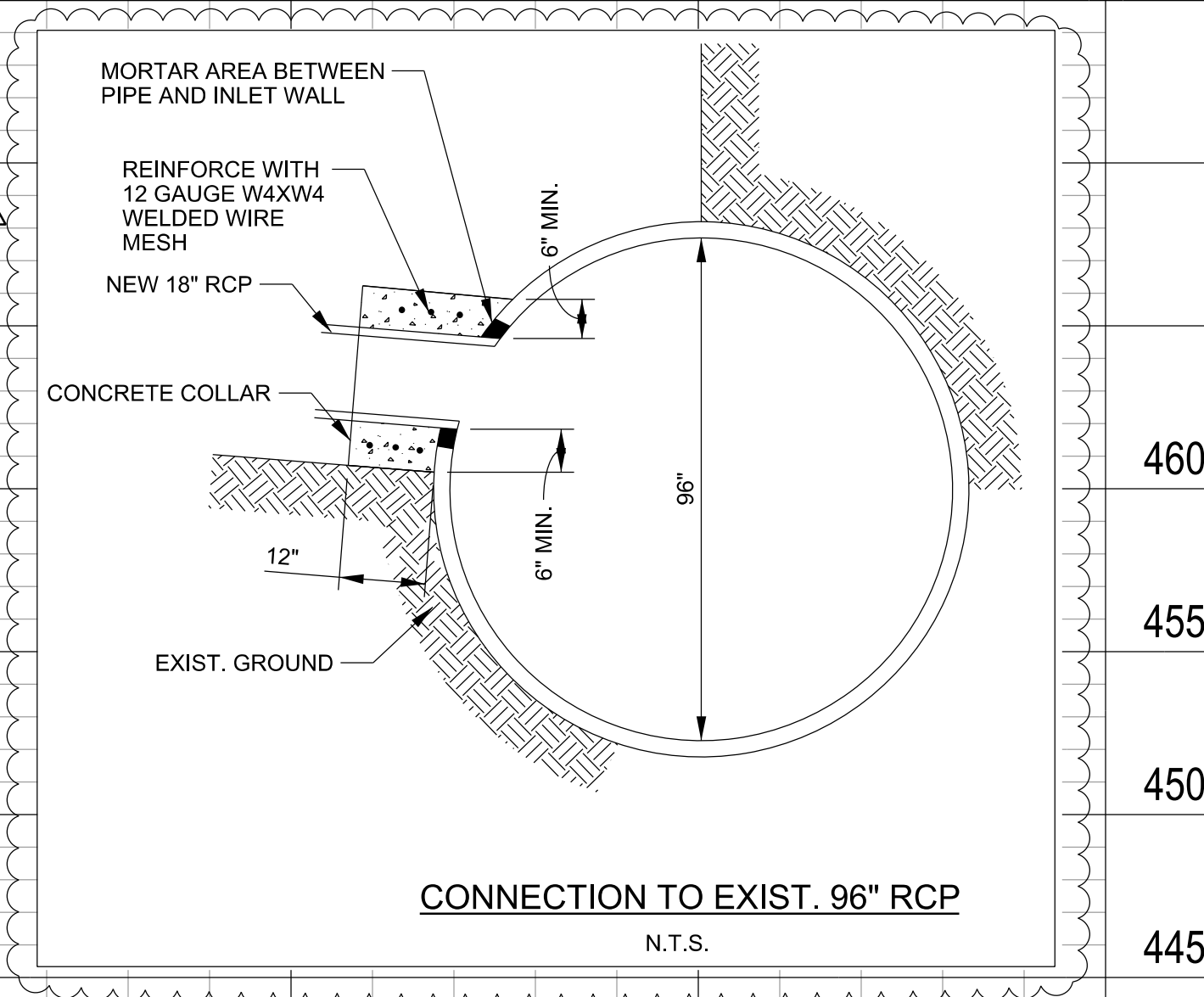
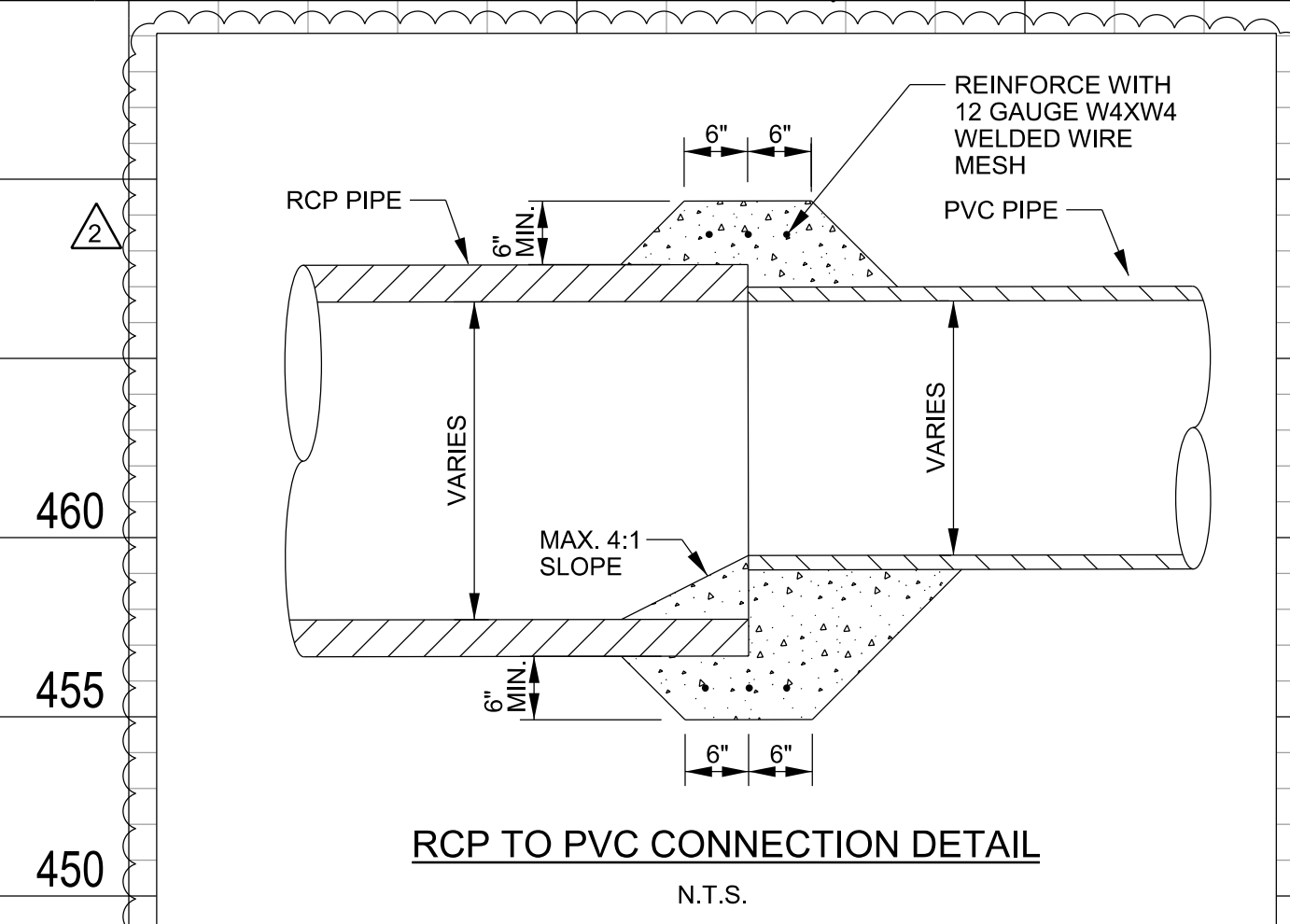
CITY OF DALLAS 311T-8854

INFRASTRUCTURE NOTES

- A. ALL MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION FOR NORTH CENTRAL TEXAS, LATEST EDITION, AND THE CITY OF DALLAS DEPARTMENT OF PUBLIC WORKS AND TRANSPORTATION ADDENDUM.
- B. DURING THE CONSTRUCTION OF THESE IMPROVEMENTS, ANY INTERPRETATION OF THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION FOR NORTH CENTRAL TEXAS, AND ANY MATTER WHICH REQUIRES THE APPROVAL OF THE OWNER, MUST BE APPROVED BY THE DIRECTOR OF PUBLIC WORKS AND TRANSPORTATION OR HIS DESIGNEE BEFORE ANY CONSTRUCTION INVOLVING THAT DECISION COMMENCES. ASSUMPTIONS ABOUT WHAT THESE DECISIONS MIGHT BE WHICH ARE MADE DURING THE BIDDING PHASE WILL HAVE NO BEARING ON THE DECISION.
- C. FOR ADJUSTMENT OF DALLAS WATER UTILITIES APPURTENANCES OR TO VERIFY LOCATIONS OF EXISTING WATER AND WASTEWATER MAINS IN AREA, CALL (214) 670-177 AT LEAST (3) WORKING DAYS PRIOR TO CONSTRUCTION.
- D. STREETS, ALLEYS, SIDEWALKS, DRIVEWAYS, AND STORM DRAINAGE FACILITIES IN THE PUBLIC RIGHT-OF-WAY SHALL BE CONSTRUCTED IN CONFORMANCE WITH THE CITY OF DALLAS, STANDARD CONSTRUCTION DETAILS, FILE 251-D, LATEST EDITION.
- E. ALL CONCRETE FOR PAVEMENT SHALL BE 4000 PSI FOR MACHINE FINISH AND 4500 PSI IF IT IS NECESSARY FOR HAND FINISH.
- F. IN ADDITION TO THE BUILDING PERMITS, A RIGHT-OF-WAY PERMIT AND TRAFFIC CONTROL APPROVAL MUST BE APPLIED FOR AND APPROVED PRIOR TO ANY WORK WITHIN THE RIGHT-OF-WAY.



TRENCH DRAIN NOTE:
 12" WIDE NEENAH R-4999 VANED TYPE L SERIES GRATE AND FRAME. FORM TRENCH PER NEENAH CATALOG DETAIL. FURNISH 7-36" GRATE SECTIONS TOTALING 21'.



ATELIER TOWER
FLORA STREET
 CITY OF DALLAS, TEXAS

HALFF
 1201 NORTH BOWSER ROAD
 RICHARDSON, TEXAS 75081-2275
 FAX (214) 750-0905

Revision No.	Date	Description
1	11/14/2016	Site plan changes
2	07/29/2017	Trench Drain/Mobility comments
3	10/06/2017	MEP/Orcon Coordination

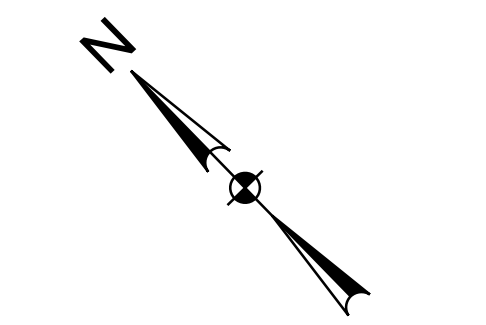
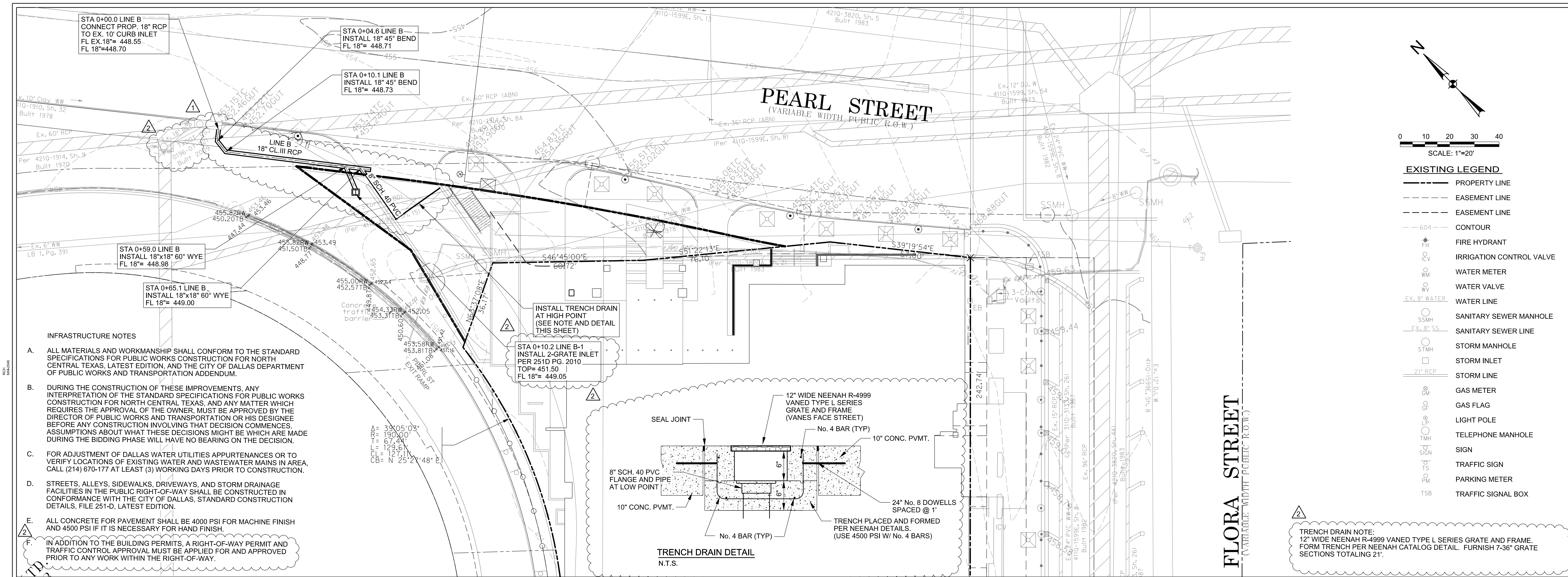


THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY B. DAVID LITTLETON, P.E. #62128 ON 04/27/2016. ALTERATION OF A SEALED DOCUMENT WITHOUT PROPER NOTIFICATION TO THE RESPONSIBLE ENGINEER IS AN OFFENSE UNDER THE TEXAS ENGINEERING PRACTICE ACT. THE RECORD COPY OF THIS DRAWING IS ON FILE AT THE OFFICES OF HALFF ASSOCIATES, INC. 1201 NORTH BOWSER ROAD, RICHARDSON, TEXAS 75081 1-800-344-8377

Project No.:	30735
Issued:	NOVEMBER, 2016
Drawn By:	KAD
Checked By:	KM / BDL
Scale:	AS SHOWN
Sheet Title	STORM DRAINAGE PLAN & PROFILE

C4.03
 Sheet Number

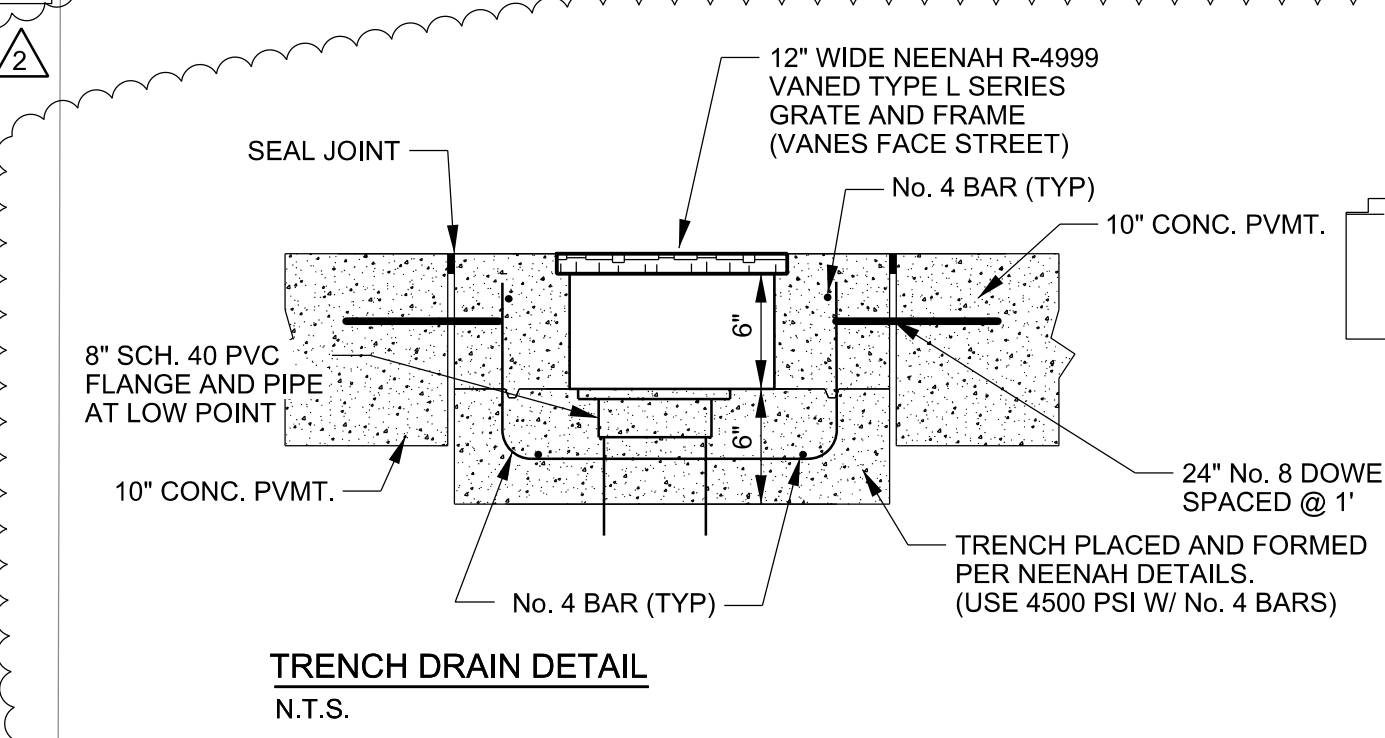
CITY OF DALLAS 311T-8854



0 10 20 30 40
SCALE: 1"=20'

- EXISTING LEGEND**
- PROPERTY LINE
 - - - EASEMENT LINE
 - - - EASEMENT LINE
 - - - CONTOUR
 - FIRE HYDRANT
 - IRRIGATION CONTROL VALVE
 - WATER METER
 - WATER VALVE
 - EX. 8" WATER
 - EX. 8" WATER
 - SSMH
 - EX. 8" SS
 - STMH
 - 21" RCP
 - 6M
 - 8M
 - 10M
 - 12M
 - 15M
 - 20M
 - 24M
 - 30M
 - 36M
 - 42M
 - 48M
 - 54M
 - 60M
 - 66M
 - 72M
 - 78M
 - 84M
 - 90M
 - 96M
 - 102M
 - 108M
 - 114M
 - 120M
 - 126M
 - 132M
 - 138M
 - 144M
 - 150M
 - 156M
 - 162M
 - 168M
 - 174M
 - 180M
 - 186M
 - 192M
 - 198M
 - 204M
 - 210M
 - 216M
 - 222M
 - 228M
 - 234M
 - 240M
 - 246M
 - 252M
 - 258M
 - 264M
 - 270M
 - 276M
 - 282M
 - 288M
 - 294M
 - 300M
 - 306M
 - 312M
 - 318M
 - 324M
 - 330M
 - 336M
 - 342M
 - 348M
 - 354M
 - 360M
 - 366M
 - 372M
 - 378M
 - 384M
 - 390M
 - 396M
 - 402M
 - 408M
 - 414M
 - 420M
 - 426M
 - 432M
 - 438M
 - 444M
 - 450M
 - 456M
 - 462M
 - 468M
 - 474M
 - 480M
 - 486M
 - 492M
 - 498M
 - 504M
 - 510M
 - 516M
 - 522M
 - 528M
 - 534M
 - 540M
 - 546M
 - 552M
 - 558M
 - 564M
 - 570M
 - 576M
 - 582M
 - 588M
 - 594M
 - 600M
 - 606M
 - 612M
 - 618M
 - 624M
 - 630M
 - 636M
 - 642M
 - 648M
 - 654M
 - 660M
 - 666M
 - 672M
 - 678M
 - 684M
 - 690M
 - 696M
 - 702M
 - 708M
 - 714M
 - 720M
 - 726M
 - 732M
 - 738M
 - 744M
 - 750M
 - 756M
 - 762M
 - 768M
 - 774M
 - 780M
 - 786M
 - 792M
 - 798M
 - 804M
 - 810M
 - 816M
 - 822M
 - 828M
 - 834M
 - 840M
 - 846M
 - 852M
 - 858M
 - 864M
 - 870M
 - 876M
 - 882M
 - 888M
 - 894M
 - 900M
 - 906M
 - 912M
 - 918M
 - 924M
 - 930M
 - 936M
 - 942M
 - 948M
 - 954M
 - 960M
 - 966M
 - 972M
 - 978M
 - 984M
 - 990M
 - 996M
 - 1002M
 - 1008M
 - 1014M
 - 1020M
 - 1026M
 - 1032M
 - 1038M
 - 1044M
 - 1050M
 - 1056M
 - 1062M
 - 1068M
 - 1074M
 - 1080M
 - 1086M
 - 1092M
 - 1098M
 - 1104M
 - 1110M
 - 1116M
 - 1122M
 - 1128M
 - 1134M
 - 1140M
 - 1146M
 - 1152M
 - 1158M
 - 1164M
 - 1170M
 - 1176M
 - 1182M
 - 1188M
 - 1194M
 - 1200M

- INFRASTRUCTURE NOTES**
- A. ALL MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION FOR NORTH CENTRAL TEXAS, LATEST EDITION, AND THE CITY OF DALLAS DEPARTMENT OF PUBLIC WORKS AND TRANSPORTATION ADDENDUM.
 - B. DURING THE CONSTRUCTION OF THESE IMPROVEMENTS, ANY INTERPRETATION OF THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION FOR NORTH CENTRAL TEXAS, AND ANY MATTER WHICH REQUIRES THE APPROVAL OF THE OWNER, MUST BE APPROVED BY THE DIRECTOR OF PUBLIC WORKS AND TRANSPORTATION OR HIS DESIGNEE BEFORE ANY CONSTRUCTION INVOLVING THAT DECISION COMMENCES. ASSUMPTIONS ABOUT WHAT THESE DECISIONS MIGHT BE WHICH ARE MADE DURING THE BIDDING PHASE WILL HAVE NO BEARING ON THE DECISION.
 - C. FOR ADJUSTMENT OF DALLAS WATER UTILITIES APPURTENANCES OR TO VERIFY LOCATIONS OF EXISTING WATER AND WASTEWATER MAINS IN AREA, CALL (214) 670-177 AT LEAST (3) WORKING DAYS PRIOR TO CONSTRUCTION.
 - D. STREETS, ALLEYS, SIDEWALKS, DRIVEWAYS, AND STORM DRAINAGE FACILITIES IN THE PUBLIC RIGHT-OF-WAY SHALL BE CONSTRUCTED IN CONFORMANCE WITH THE CITY OF DALLAS, STANDARD CONSTRUCTION DETAILS, FILE 251-D, LATEST EDITION.
 - E. ALL CONCRETE FOR PAVEMENT SHALL BE 4000 PSI FOR MACHINE FINISH AND 4500 PSI IF IT IS NECESSARY FOR HAND FINISH.
 - F. IN ADDITION TO THE BUILDING PERMITS, A RIGHT-OF-WAY PERMIT AND TRAFFIC CONTROL APPROVAL MUST BE APPLIED FOR AND APPROVED PRIOR TO ANY WORK WITHIN THE RIGHT-OF-WAY.



TRENCH DRAIN NOTE
12" WIDE NEENAH R-4999 VANED TYPE L SERIES GRATE AND FRAME. FORM TRENCH PER NEENAH CATALOG DETAIL. FURNISH 7-36" GRATE SECTIONS TOTALING 21'.



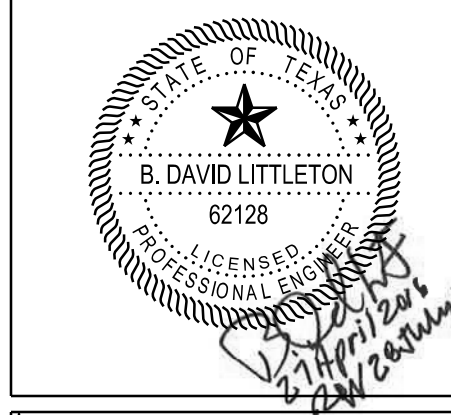
CAUTION!!!
!! CALL BEFORE YOU DIG !!
ONE CALL: TEXAS 811
1-800-DIG-TESS
1-800-344-8377

WARNING!!!
EXISTING UNDERGROUND
UTILITIES IN AREA. USE
EXTREME CARE AND CAUTION WHEN
WORKING IN AREA.

ATELIER TOWER
FLORA STREET
CITY OF DALLAS, TEXAS



Revision No.	Date	Description
1	11/14/2016	Site plan changes
2	07/29/2017	Trench Drain/Mobility comments

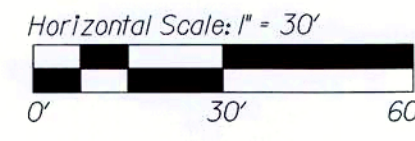
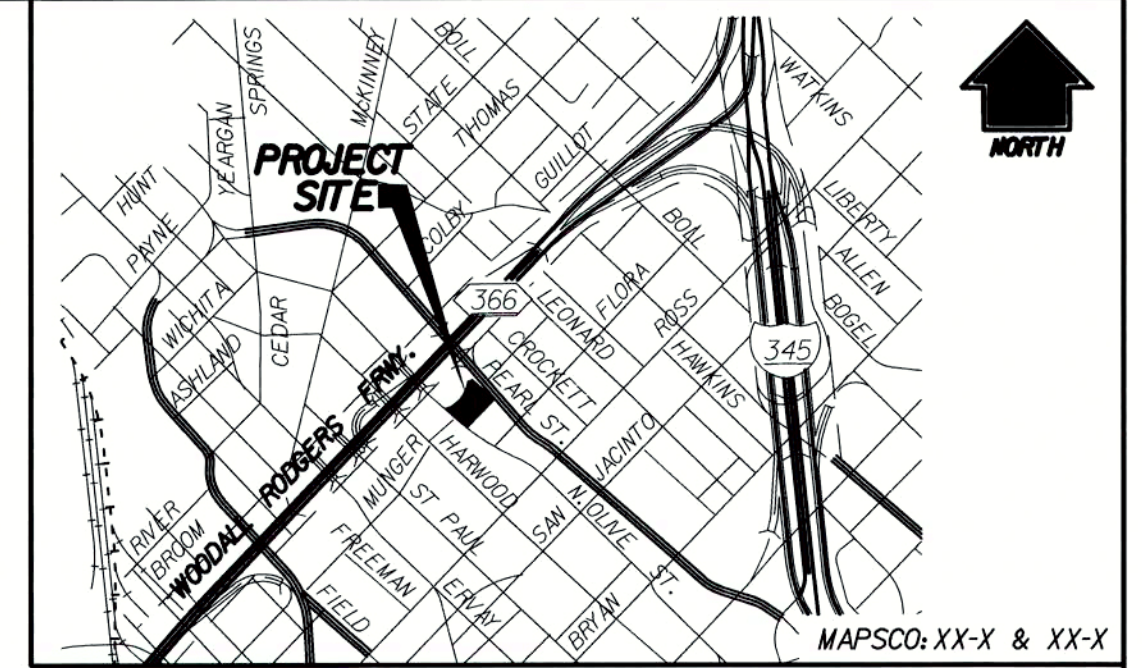
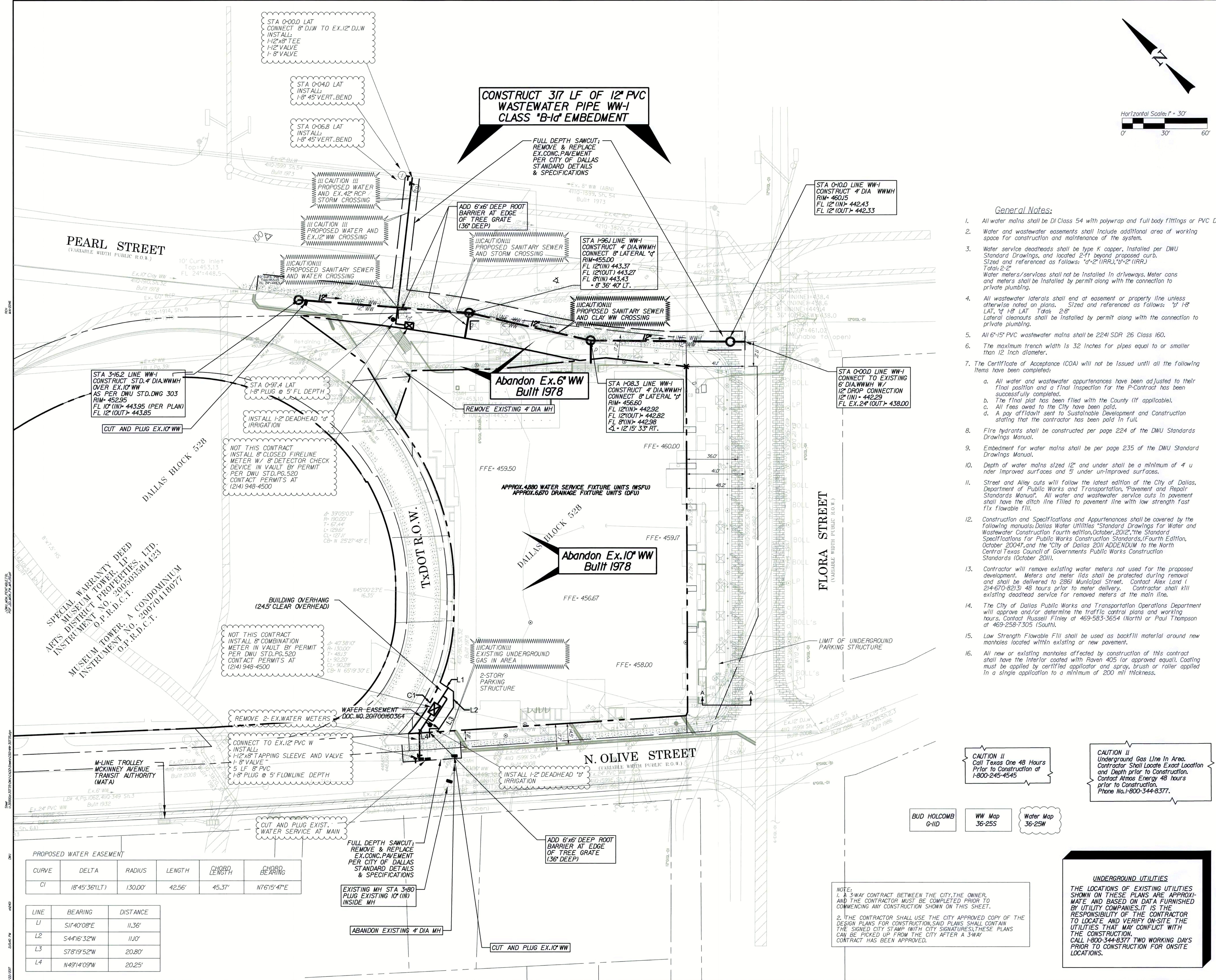


THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY B. DAVID LITTLETON, P.E. #62128 ON 04-27-2016. ALTERATION OF A SEALED DOCUMENT WITHOUT PROPER NOTIFICATION TO THE RESPONSIBLE ENGINEER IS AN OFFENSE UNDER THE TEXAS ENGINEERING PRACTICE ACT. THE RECORD COPY OF THIS DRAWING IS ON FILE AT THE OFFICES OF HALFF ASSOCIATES, INC. 1201 NORTH BOWSER ROAD, RICHARDSON, TEXAS 75081 TYPE FIRM #F-312

Project No.:	30735
Issued:	NOVEMBER, 2016
Drawn By:	CAD
Checked By:	KM / BDL
Scale:	AS SHOWN
Sheet Title	STORM DRAINAGE PLAN & PROFILE

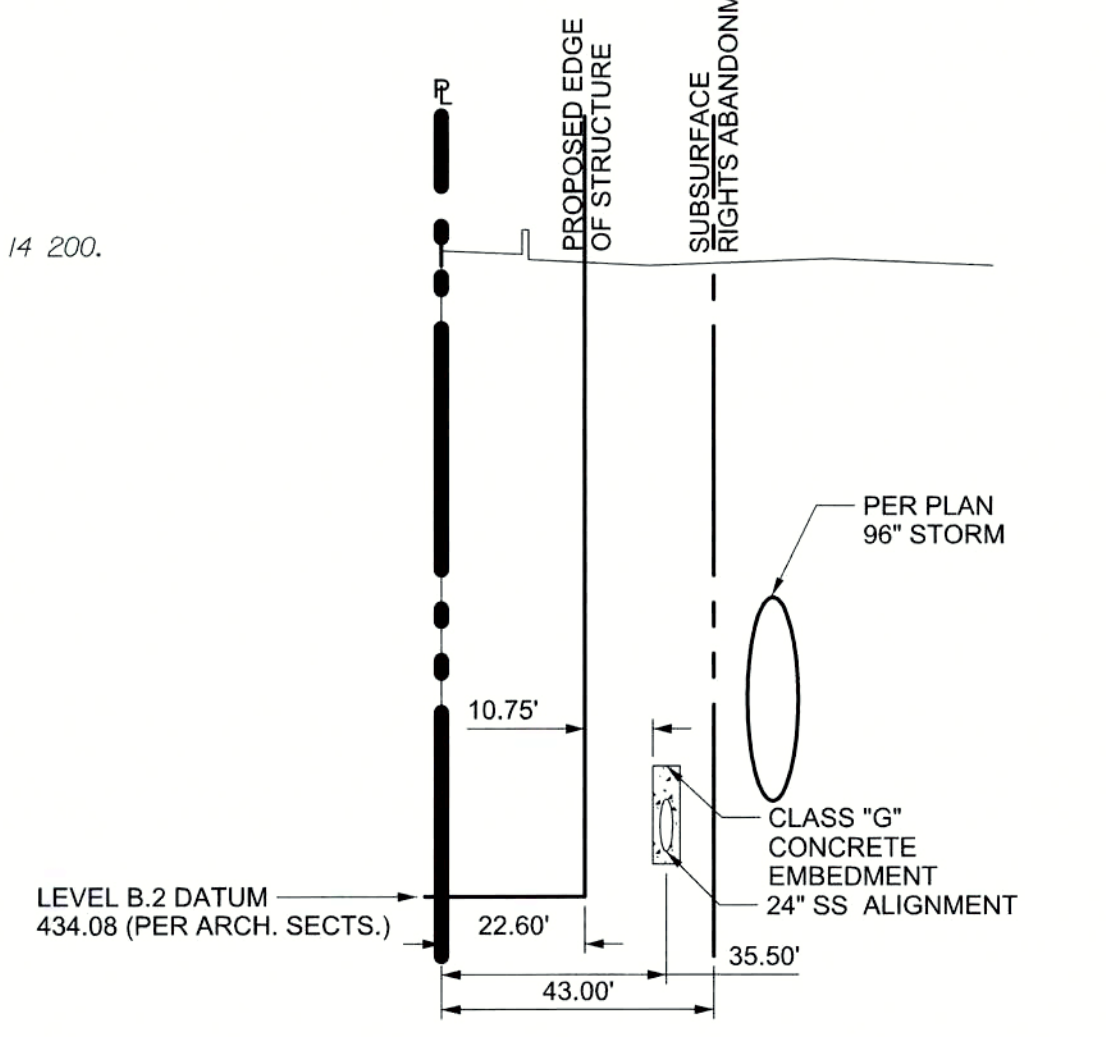
CITY OF DALLAS 311T-8854

C4.04
Sheet Number



CONSTRUCT 317 LF OF 12" PVC WASTEWATER PIPE WW-1 CLASS "B-1" EMBEDMENT

- General Notes:**
- All water mains shall be DI Class 54 with polywrap and full body fittings or PVC DR 14 200.
 - Water and wastewater easements shall include additional area of working space for construction and maintenance of the system.
 - Water service deadheads shall be type K copper, installed per DWU Standard Drawings, and located 2'-1" beyond proposed curb. Sized and referenced as follows: "a-2" (IRR), "b-2" (IRR). Total: 2'-2". Water meters/services shall not be installed in driveways. Meter cans and meters shall be installed by permit along with the connection to private plumbing.
 - All wastewater laterals shall end at easement or property line unless otherwise noted on plans. Sized and referenced as follows: "1" 1/8" LAT, "1" 1/2" LAT, "2" 1/2" LAT, "2" 1/4" LAT. Lateral cleanouts shall be installed by permit along with the connection to private plumbing.
 - All 6"-15" PVC wastewater mains shall be 2241 SDR 26 Class 160.
 - The maximum trench width is 32 inches for pipes equal to or smaller than 12 inch diameter.
 - The Certificate of Acceptance (COA) will not be issued until all the following items have been completed:
 - All water and wastewater appurtenances have been adjusted to their final position and a final inspection for the P-Contract has been successfully completed.
 - The final plat has been filed with the County (if applicable).
 - All fees owed to the City have been paid.
 - A pay affidavit sent to Sustainable Development and Construction stating that the contractor has been paid in full.
 - Fire hydrants shall be constructed per page 224 of the DWU Standards Drawings Manual.
 - Embedment for water mains shall be per page 235 of the DWU Standard Drawings Manual.
 - Depth of water mains sized 12" and under shall be a minimum of 4' under improved surfaces and 5' under unimproved surfaces.
 - Street and Alley cuts will follow the latest edition of the City of Dallas, Department of Public Works and Transportation, "Pavement and Repair Standards Manual". All water and wastewater service cuts in pavement shall have the ditch line filled to pavement line with low strength fast fix flowable fill.
 - Construction and Specifications and Appurtenances shall be covered by the following manuals: Dallas Water Utilities "Standard Drawings for Water and Wastewater Construction" Fourth Edition, October, 2012; "The Standard Specifications for Public Works Construction Standards, Fourth Edition, October, 2004", and the "City of Dallas 2011 ADDENDUM to the North Central Texas Council of Governments Public Works Construction Standards (October 2011).
 - Contractor will remove existing water meters not used for the proposed development. Meters and meter lids shall be protected during removal and shall be delivered to 2861 Municipal Street. Contact Alex Land (214-670-8213) 48 hours prior to meter delivery. Contractor shall kill existing deadhead service for removed meters at the main line.
 - The City of Dallas Public Works and Transportation Operations Department will approve and/or determine the traffic control plans and working hours. Contact Russell Finley at 469-583-3654 (North) or Paul Thompson at 469-258-7305 (South).
 - Low Strength Flowable Fill shall be used as backfill material around new manholes located within existing or new pavement.
 - All new or existing manholes affected by construction of this contract shall have the interior coated with Raven 425 (or approved equal). Coating must be applied by certified applicator and spray, brush or roller applied in a single application to a minimum of 200 mil thickness.



SECTION B-B
SCALE: 1"=20' HORIZ. 1"=5' VERT.

HALFF ASSOCIATES, INC. TBPE FIRM #F-312
Name of Firm
Designed by: _____ Date: _____
Accepted for Construction: _____ Date: _____
Contract No. _____
Contractor: _____

REVISIONS			
REV. NO.	DATE	DESCRIPTION	BY

BENCHMARKS & CONTROL POINTS			
1.	DWU BENCHMARK: "X" CUT ON CONCRETE CURB CENTER OF STORM SEWER INLET AT THE SOUTHEAST CORNER OF ALAMO ST. AND CEDAR SPRINGS RD. NORTHING 6974860.151 EASTING 2489331.029 ELEVATION 418.87 feet		
2.	CONTROL POINT #100: SET IRON ROD TRAVERSE POINT IN THE MEDIAN OF PEARL ST. LOCATED APPROX. 40LF NE OF A CURB INLET ON THE SW SIDE OF PEARL ST. NORTHING 6975411.25 EASTING 2491377.38 ELEVATION 454.47 feet		

THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY D. DAVID LITTLETON, P.E. #28288 ON 06-22-2017. ALTERATION OF A SEALED DOCUMENT WITHOUT PROPER NOTIFICATION TO THE RESPONSIBLE ENGINEER IS AN OFFENSE UNDER THE TEXAS ENGINEERING PRACTICE ACT. THE RECORD COPY OF THIS DRAWING IS ON FILE AT THE OFFICES OF HALFF ASSOCIATES, INC. 1201 NORTH BOWSER ROAD, RICHARDSON, TEXAS 75081 TBPE FIRM #F-312

REFERENCES
WATER 36-25W
WASTEWATER 36-25S

HALFF 12225 GREENVILLE AVE. SUITE #200 DALLAS, TEXAS 75243-0882 TEL. (214) 572-2272 / FAX (214) 572-2273

PID: 7614 CITY FILE NO: N/A

WWTR RELOCATION
ATELIER TOWER
FLORA STREET
DALLAS WATER UTILITIES
CITY OF DALLAS, TEXAS

DESIGN	DRAWN	DATE	FILE	NUMBER	SHEET
KM	CAD	JUN. 2017	411Q	1599E	21

PROPOSED WATER EASEMENT

CURVE	DELTA	RADIUS	LENGTH	CHORD LENGTH	CHORD BEARING
C1	18°45'36"(LT)	130.00'	42.56'	45.37'	N76°15'47"E

LINE	BEARING	DISTANCE
L1	S14°00'08"E	11.36'
L2	S44°16'32"W	11.00'
L3	S78°19'52"W	20.80'
L4	N49°14'09"W	20.25'

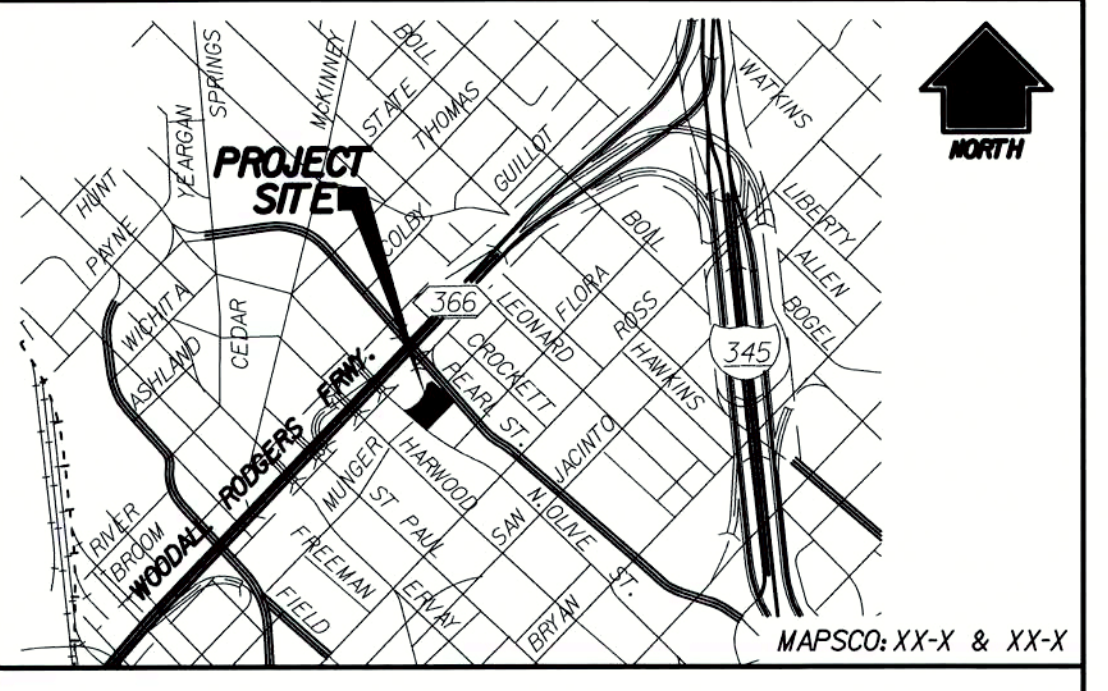
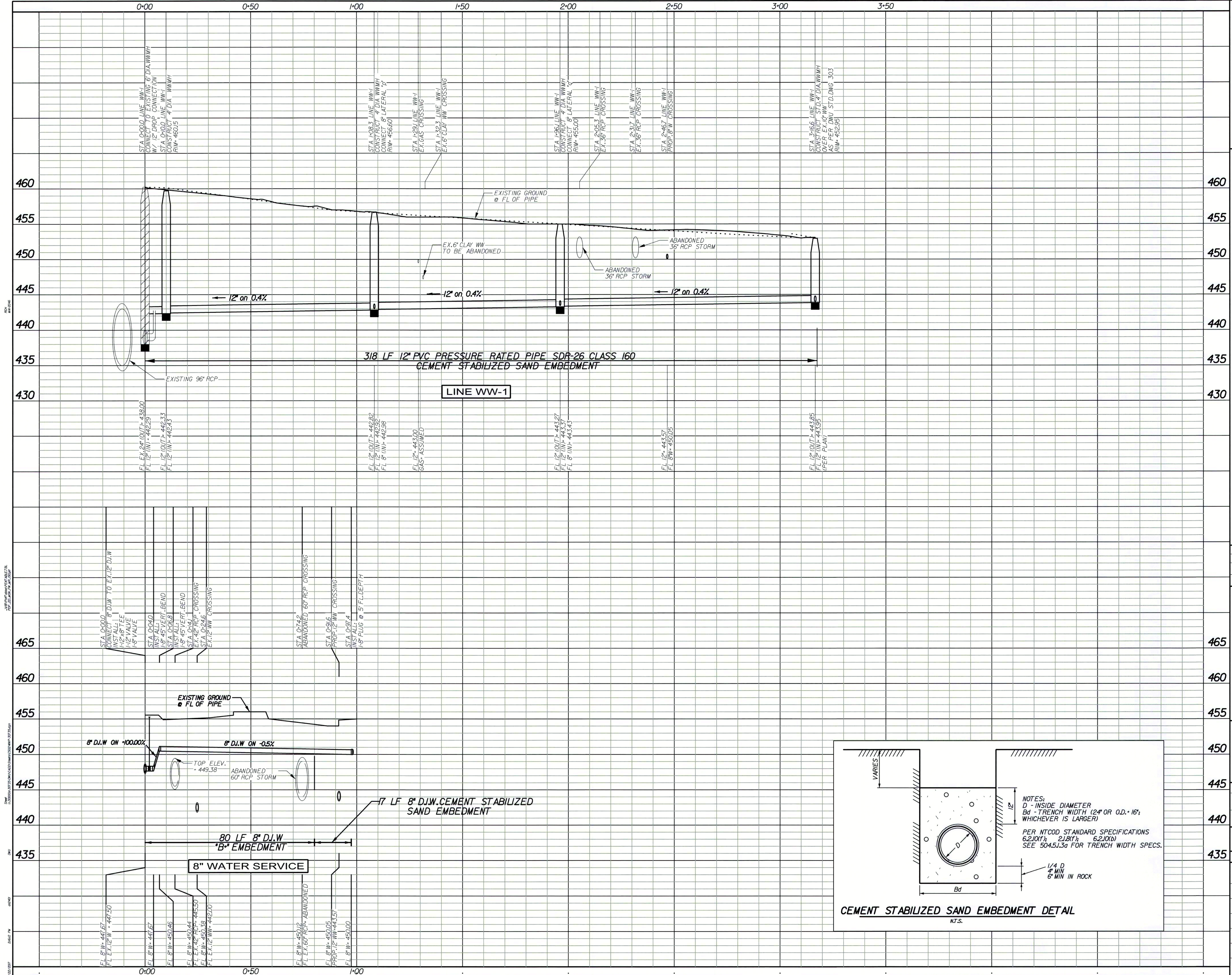
NOTE:
1. A 3-WAY CONTRACT BETWEEN THE CITY, THE OWNER, AND THE CONTRACTOR MUST BE COMPLETED PRIOR TO COMMENCING ANY CONSTRUCTION SHOWN ON THIS SHEET.
2. THE CONTRACTOR SHALL USE THE CITY APPROVED COPY OF THE DESIGN PLANS FOR CONSTRUCTION. SAID PLANS SHALL CONTAIN THE SIGNED CITY STAMP (WITH CITY SIGNATURES). THESE PLANS CAN BE PICKED UP FROM THE CITY AFTER A 3-WAY CONTRACT HAS BEEN APPROVED.

UNDERGROUND UTILITIES
THE LOCATIONS OF EXISTING UTILITIES SHOWN ON THESE PLANS ARE APPROXIMATE AND BASED ON DATA FURNISHED BY UTILITY COMPANIES. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE AND VERIFY ON-SITE THE UTILITIES THAT MAY CONFLICT WITH THE CONSTRUCTION. CALL 1-800-344-8377 TWO WORKING DAYS PRIOR TO CONSTRUCTION FOR ONSITE LOCATIONS.

BUD HOLCOMB 6-ID
WW Map 36-25S
Water Map 36-25W

CAUTION !!
Underground Gas Line In Area. Contractor Shall Locate Exact Location and Depth prior to Construction. Contact Atmos Energy 48 hours prior to construction. Phone No. 1-800-344-8377.

CAUTION !!
Call Texas One 48 Hours Prior to Construction at 1-800-245-4545



460	460
455	455
450	450
445	445
440	440
435	435
430	430

HALFF ASSOCIATES, INC. T.B.P.E. FIRM #F-312
 Name of Firm
 Designed by: _____ Date: _____
 Accepted for Construction: _____ Date: _____
 Dept. of Sustainable Development and Construction
 Contract No. _____ Date: _____
 Contractor _____

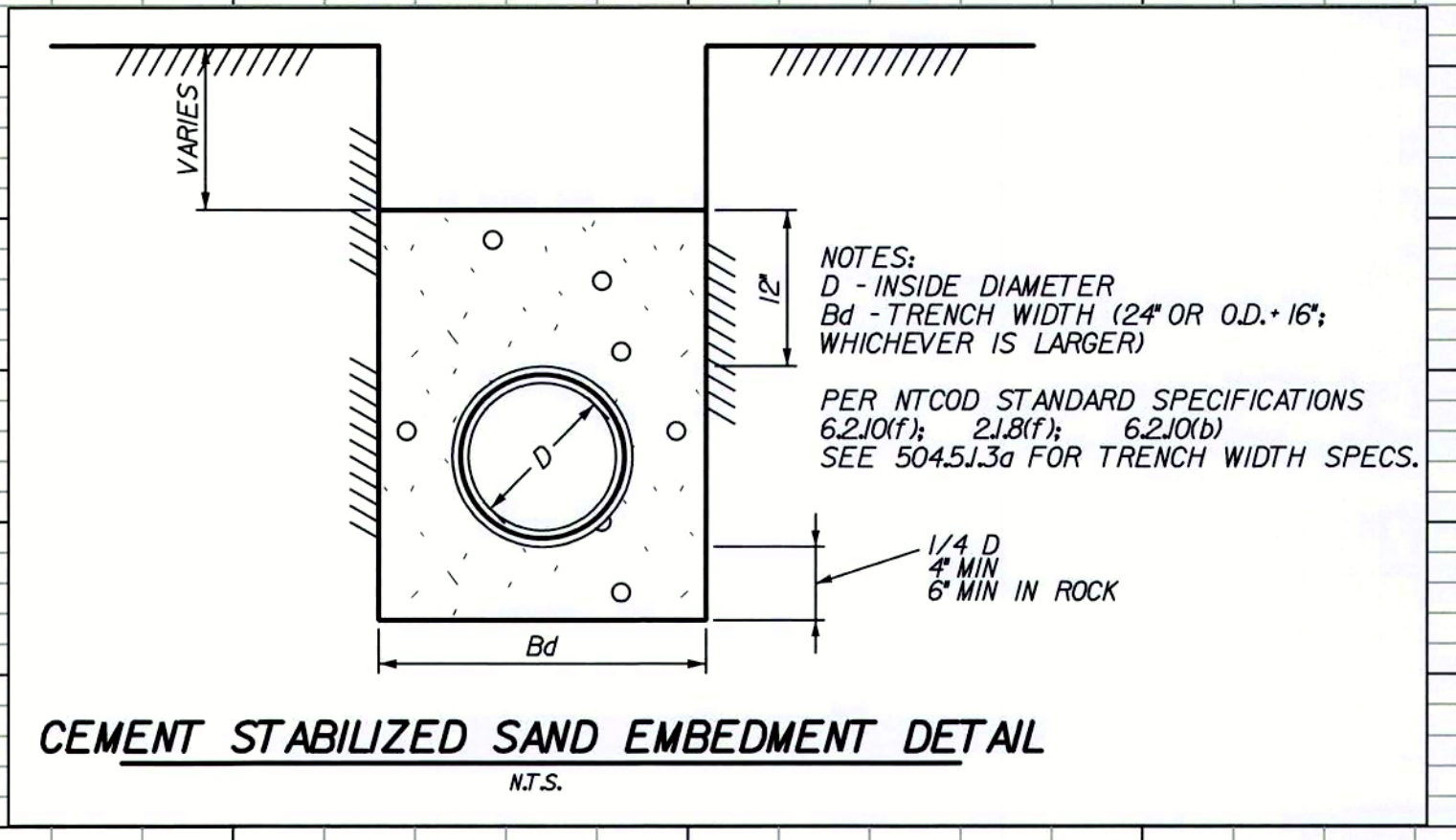
REVISIONS			
REV. NO.	DATE	DESCRIPTION	BY
△			

- BENCHMARKS & CONTROL POINTS**
- DWU BENCHMARK : *X* CUT ON CONCRETE CURB CENTER OF STORM SEWER INLET AT THE SOUTHEAST CORNER OF ALAMO ST. AND CEDAR SPRINGS RD. NORTHING 6974860.151 EASTING 2489331.029 ELEVATION 418.87 feet
 - CONTROL POINT #100: SET IRON ROD TRAVERSE POINT IN THE MEDIAN OF PEARL ST. LOCATED APPROX. 40LF NE OF A CURB INLET ON THE SW SIDE OF PEARL ST. NORTHING 6975411.25 EASTING 2491377.38 ELEVATION 454.47 feet

THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY B. DAVID LITTLETON (P.E. #62198 ON 06-22-2017). ALTERATION OF A SEALED DOCUMENT WITHOUT PROPER NOTIFICATION TO THE RESPONSIBLE ENGINEER IS AN OFFENSE UNDER THE TEXAS ENGINEERING PRACTICE ACT. THE RECORD COPY OF THIS DRAWING IS ON FILE AT THE OFFICES OF HALFF ASSOCIATES, INC. 1201 NORTH BONNER ROAD, RICHARDSON, TEXAS 75081 T.B.P.E. FIRM #F-312



REFERENCES	
WATER	36-25W
WASTEWATER	36-25S



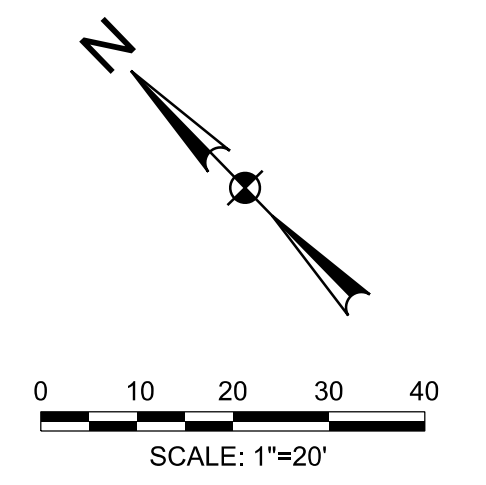
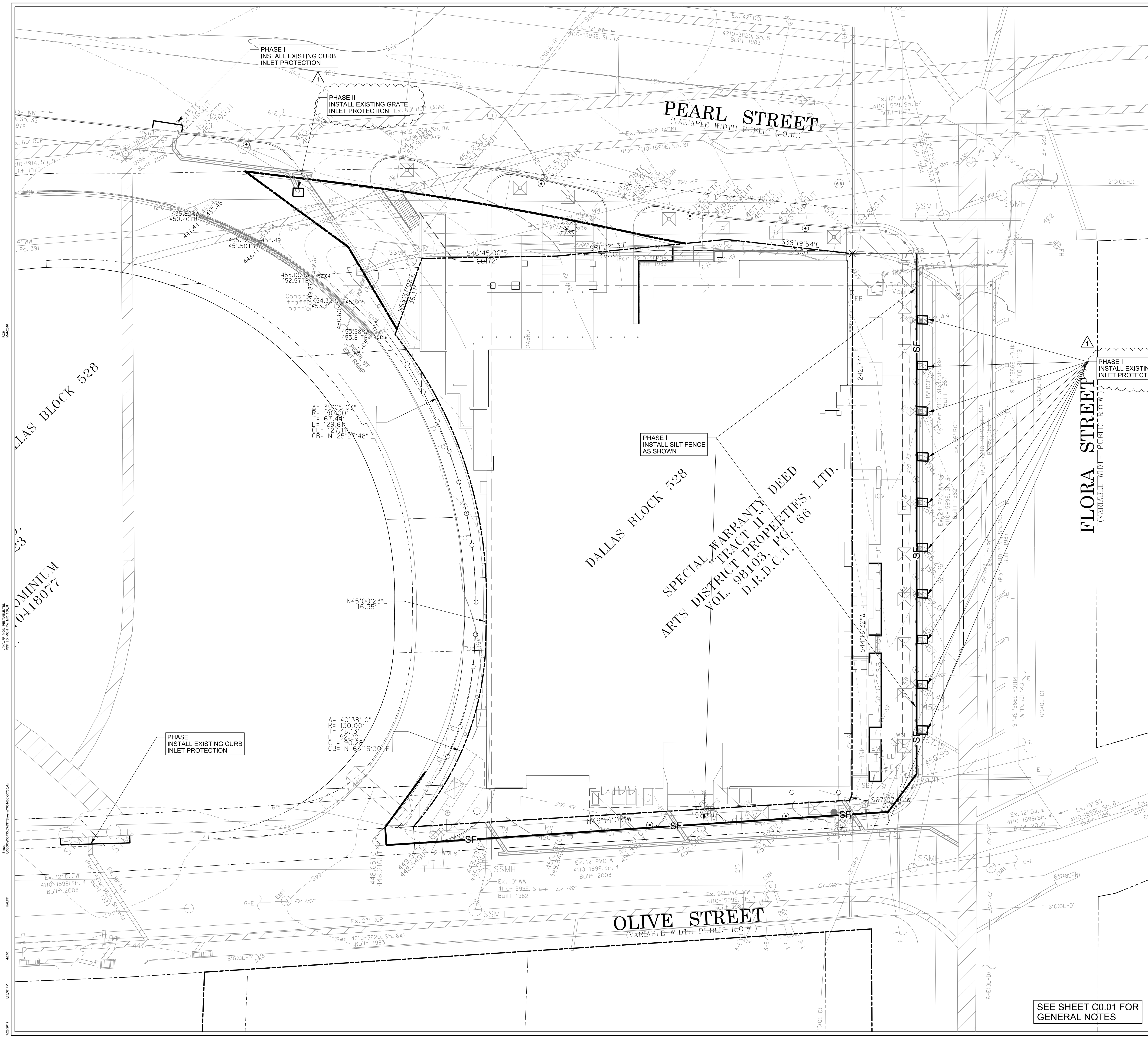
450	450
445	445
440	440
435	435

HALFF 12225 GREENVILLE AVE. SUITE #200 DALLAS, TEXAS 75243-5062 TEL (214) 572-2272 / FAX (214) 572-2273

PID: 7614 CITY FILE NO: N/A

UTILITY PROFILES
ATELIER TOWER
FLORA STREET
DALLAS WATER UTILITIES
CITY OF DALLAS, TEXAS

DESIGN	DRAWN	DATE	FILE	NUMBER	SHEET
KN	CAD	JUN. 2017	41IQ	1599E	22



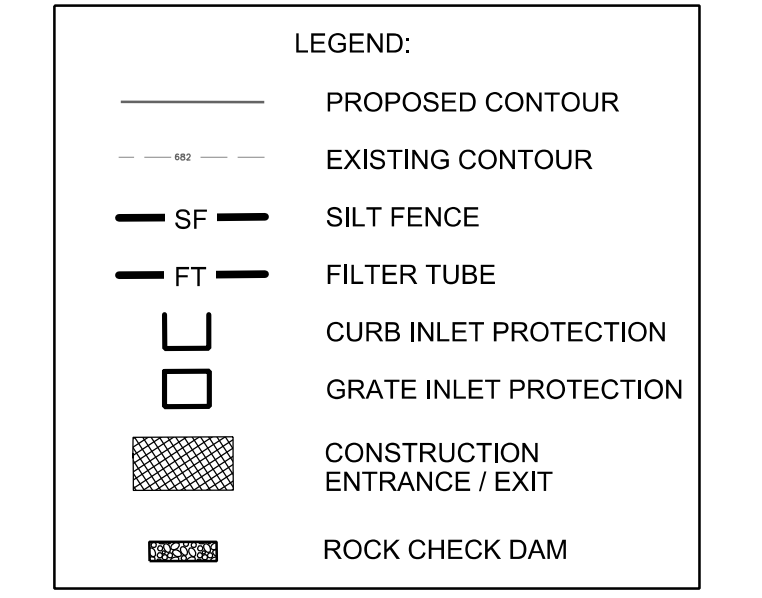
- CONSTRUCTION PHASING**
- PHASE I INSTALL EROSION CONTROL DEVICES
 - PHASE II SITE CLEARING, DEMOLITION, & GRADING EXCAVATION
 - PHASE III STORM DRAIN CONSTRUCTION
 - PHASE IV GRADING & SITE UTILITIES
 - PHASE V SITE PAVING, LANDSCAPE & IRRIGATION
 - PHASE VI FINAL STABILIZATION

PHASE I
INSTALL EROSION CONTROLS:
REINFORCED SILT FENCES, FILTER TUBE, INLET PROTECTION STABILIZED CONSTRUCTION ENTRANCE/EXIT.

PHASE II, III & IV
MAINTAIN EXIST. EROSION CONTROLS. INSTALL INLET PROTECTION. ADD ADDITIONAL EROSION CONTROLS AS NEEDED. CONSTRUCT ROCK CHECK DAMS IN CHANNEL.

PHASE V
MAINTAIN EXIST. EROSION CONTROLS. MODIFY INLET PROTECTION TO METHOD COMPATIBLE WITH PAVEMENT. ADD ADDITIONAL CONTROLS AS NEEDED FOR CONSTRUCTION ACTIVITIES.

PHASE VI
REVEGETATE ALL DISTURBED AREAS NOT COVERED IN THE LANDSCAPE PLAN. ESTABLISH MIN. COVER OF 70% OF THE NATIVE BACKGROUND COVER. REMOVE EROSION CONTROLS WHEN 70% MIN. COVER HAS BEEN ESTABLISHED.



THIS IS NOT A STORM WATER POLLUTION PREVENTION PLAN. THE CONTRACTOR MUST PREPARE ALL RELEVANT DOCUMENTS INCLUDING HIS OPERATION SPECIFIC INFORMATION PER THE TCEQ TPDES PERMIT NO. TXR150000, INCLUDING ALL DOCUMENTATION & CERTIFICATIONS AS REQUIRED BY THE PERMIT.

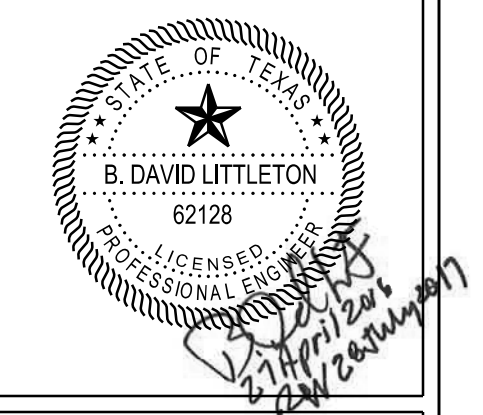
1. DWU BENCHMARK : 'X' CUT ON CONCRETE CURB CENTER OF STORM SEWER INLET AT THE SOUTHEAST CORNER OF ALAMO ST. AND CEDAR SPRINGS RD. NORTHING 6974860.151 EASTING 2489331.029 ELEVATION 418.87 feet
2. CONTROL POINT #100: SET IRON ROD TRAVERSE POINT IN THE MEDIAN OF PEARL ST. LOCATED APPROX. 40LF NE OF A CURB INLET ON THE SW SIDE OF PEARL ST. NORTHING 6975411.25 EASTING 2491377.38 ELEVATION 454.47 feet

SEE SHEET C0.01 FOR GENERAL NOTES

ATELIER TOWER
FLORA STREET
CITY OF DALLAS, TEXAS



Revision No.	Date	Description	Additional Dimension per Owner
1	11/14/2016	Site plan changes	
2	07/28/2017		



THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY B. DAVID LITTLETON, P.E. #62128 ON 04-27-2016. ALTERATION OF A SEALED DOCUMENT WITHOUT PROPER NOTIFICATION TO THE RESPONSIBLE ENGINEER IS AN OFFENSE UNDER THE TEXAS ENGINEERING PRACTICE ACT. THE RECORD COPY OF THIS DRAWING IS ON FILE AT THE OFFICES OF HALFF ASSOCIATES, INC. 1201 NORTH BOWSER ROAD, RICHARDSON, TEXAS 75081 TYPE FIRM #F-312

Project No.:	30735
Issued:	NOVEMBER, 2016
Drawn By:	CAD
Checked By:	KM / BDL
Scale:	AS SHOWN

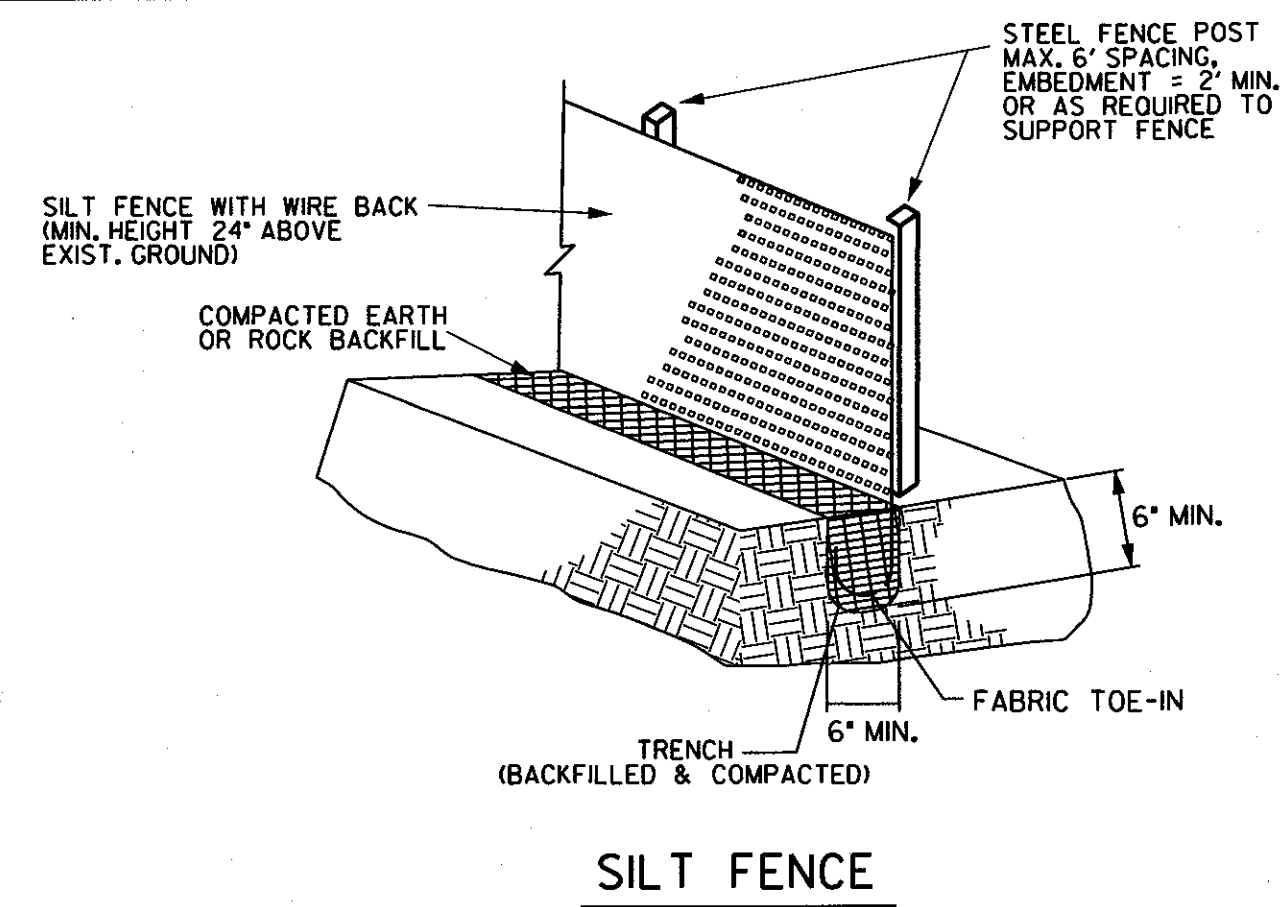
Sheet Title
EROSION CONTROL PLAN

C6.01
Sheet Number

CITY OF DALLAS 311T-8854

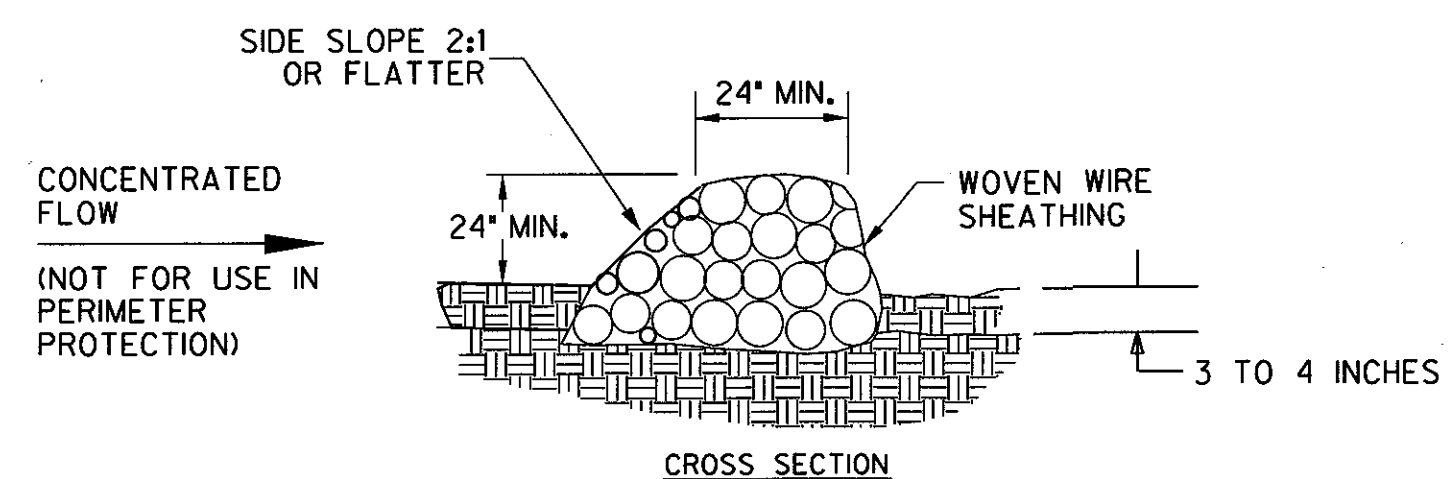
Erosion Control Notes

- The Contractor is responsible for implementing a Storm Water Pollution Prevention Plan (SWP3) in accordance with TCEQ Texas Pollutant Discharge Elimination System (TPDES) Permit No. TXR150000 (PERMIT). The details shown on this sheet represent typical methods for controlling erosion during construction and are intended for the Contractor's guidance in the implementation of the Pollution Prevention Plan. The plan shall comply with the PERMIT and Federal, State and local requirements. The plan shall include, but not be limited to, preparation and submission of a Notice of Intent (NOI) to the TCEQ, if the project is 5 acres or larger and preparation of all plans and documentation as required by the PERMIT.
- It is the intent of the information provided on these documents to be used as a general guideline for the Contractor. The SWP3 to be prepared shall meet the current requirements set forth in the TCEQ's TPDES general permit for storm water discharges from construction sites as well as any local requirements.
- The Contractor shall be responsible for maintaining erosion control during construction and for obtaining any required construction related drainage permits, or making any construction related notifications. An inspection report that summarizes inspection activities and implementation of the SWP3 shall be performed as required by the PERMIT and retained by the Contractor and made a part of the construction documents. The Contractor shall provide copies of all SWP3 documents including, but not limited to, inspection records, original plans, and modified plans to the Owner at contract close-out. During construction the contractor shall provide copies of the inspection reports to the Owner on a monthly basis.
- Temporary storm drainage and/or erosion control material shall be suitable for this application and shall be installed with the proper techniques by the Contractor as required by NCTCOG Standard Specifications for Public Works Construction. Temporary storm drainage and/or erosion control material shall be removed by the Contractor. In addition to any excavations backfilled by the Contractor, in accordance with NCTCOG Standard Specifications for Public Works Construction when temporary erosion control devices are no longer needed as specified in the PERMIT. Maintenance of the permanent erosion control measures of the site will be assumed by the Owner at contract close out and acceptance of the work.
- The Contractor shall maintain the SWP3 in accordance with the TCEQ Permit and make the SWP3 available, upon request, to the TCEQ and/or Owner.
- The Contractor must amend the SWP3 whenever there is a change in design, construction, operation, or maintenance of the SWP3, or when the existing SWP3 proves ineffective. Modifications shall not compromise the intent of the requirements of the PERMIT. Modifications including design and all additional materials and work shall be accomplished by the Contractor at no additional expense to the Owner.
- The Contractor shall inspect his stabilization and erosion control measures at a minimum of once every 14 days, and within 24 hours after any storm event that exceeds 0.5 inches, or once every 7 days. The Contractor shall repair inadequacies revealed by the inspection before the next storm event and he shall modify his SWP3 within 7 days of the inspection.
- The Contractor shall adopt and implement appropriate construction site management practices to prevent the discharge of oils, grease, paints, gasoline, and other pollutants to storm water. Appropriate practices shall include, but not be limited to: designating areas for equipment maintenance and repair; collecting wastes periodically; maintaining conveniently located waste receptacles, and designating and controlling equipment washdown.
- Borrow areas, if excavated, shall be protected and stabilized by the Contractor in a manner acceptable to the Owner and in accordance with PERMIT requirements.
- All non-paved areas shall be seeded and mulched with erosion protection grass by the Contractor immediately upon completion of final grading. This includes all ditches and embankments. The Contractor shall maintain final grading, and keep seeded areas watered until fully established and accepted by Owner.
- The Contractor shall construct a silt fence at locations suggested on plans as appropriate or as modified in his SWP3 to fit site conditions at the time of placement, and all borrow and stock pile areas. The silt fence shall be constructed as detailed on this plan. The Contractor shall remove accumulated silt when it reaches a depth of 1/3 the height of the silt fence. The Contractor shall dispose of the removed silt in a location approved by the Owner and in such a manner as to not contribute to erosion and sedimentation. The Contractor shall remove the silt fence when the site is completely stabilized in accordance with the PERMIT.
- The Contractor shall designate material and equipment storage areas mutually agreed to by the Owner. The storage areas shall be graded for positive drainage, and the surface stabilized with a minimum of 2 inches of compacted flex base on 6 inches of scarified and recompact subgrade by the Contractor. A silt fence shall be installed by the Contractor around the storage areas to prevent eroded material from leaving the site.
- All inlets (onsite and offsite) receiving drainage water from disturbed areas shall be protected by the Contractor as per details shown or other Owner approved methods to prevent eroded material from being transported into inlets. The inlet protection shall be constructed as shown on these plans.
- The notes and details contained herein do not relieve the Contractor and Owner of meeting and implementing the requirements of the PERMIT.



SILT FENCE GENERAL NOTES:

- STEEL POSTS WHICH SUPPORT THE SILT FENCE SHALL BE INSTALLED WITH A SLIGHT ANGLE TOWARD THE ANTICIPATED RUNOFF SOURCE. POST MUST BE EMBEDDED A MINIMUM OF TWO FEET.
- THE TOE OF THE SILT FENCE SHALL BE TRENCHED IN WITH A SPADE OR MECHANICAL TRENCHER, SO THAT THE DOWNSLOPE FACE OF THE TRENCH IS FLAT AND PERPENDICULAR TO THE LINE OF FLOW. WHERE FENCE CANNOT BE TRENCHED IN (e.g. PAVEMENT), WEIGHT FABRIC FLAP WITH WASHED GRAVEL ON UPHILL SIDE TO PREVENT FLOW UNDER FENCE.
- THE TRENCH MUST BE A MINIMUM OF 6 INCHES DEEP AND 6 INCHES WIDE TO ALLOW FOR THE SILT FENCE FABRIC TO BE LAID IN THE GROUND AND BACKFILLED WITH COMPACTED MATERIAL.
- SILT FENCE SHOULD BE SECURELY FASTENED TO EACH STEEL SUPPORT POST OR TO WOVEN WIRE, WHICH IS IN TURN ATTACHED TO THE STEEL FENCE POST. THERE SHALL BE A 6" DOUBLE OVERLAP, SECURELY FASTENED WHERE ENDS OF FABRIC MEET.
- INSPECTION SHALL BE MADE WEEKLY OR AFTER EACH RAINFALL. REPAIR OR REPLACEMENT SHALL BE MADE PROMPTLY AS NEEDED.
- SILT FENCE SHALL BE REMOVED WHEN THE SITE IS COMPLETELY STABILIZED SO AS NOT TO BLOCK OR IMPEDE STORM FLOW OR DRAINAGE.
- ACCUMULATED SILT SHALL BE REMOVED WHEN IT REACHES A DEPTH OF 6 INCHES. THE SILT SHALL BE DISPOSED OF IN AN APPROVED SITE AND IN SUCH A MANNER AS TO NOT CONTRIBUTE TO ADDITIONAL SILTATION.

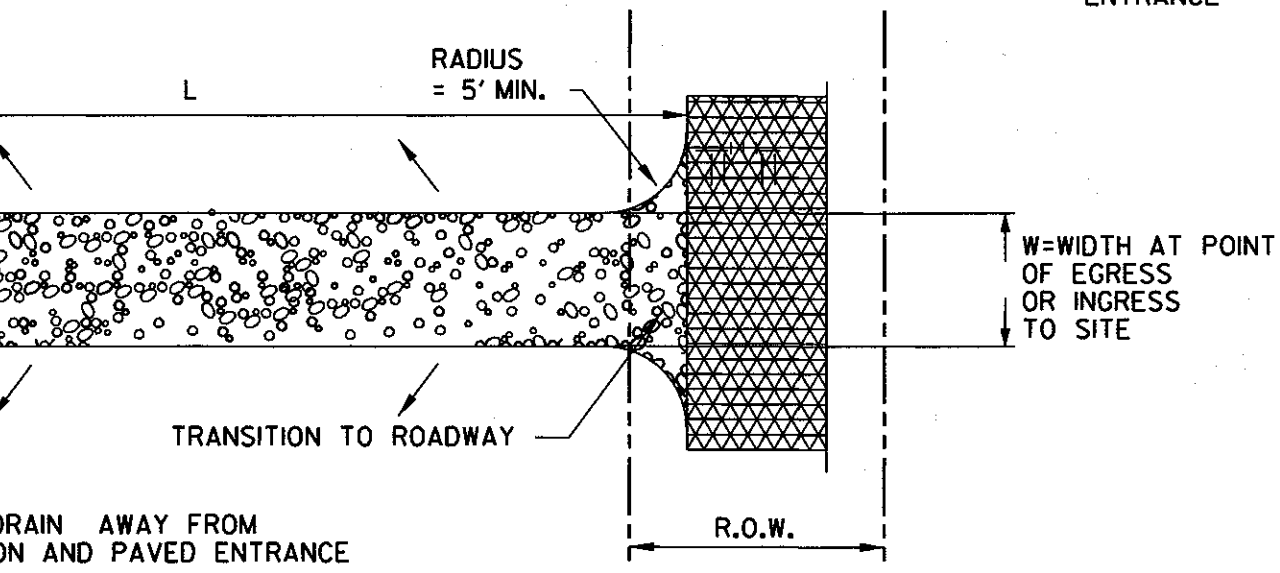
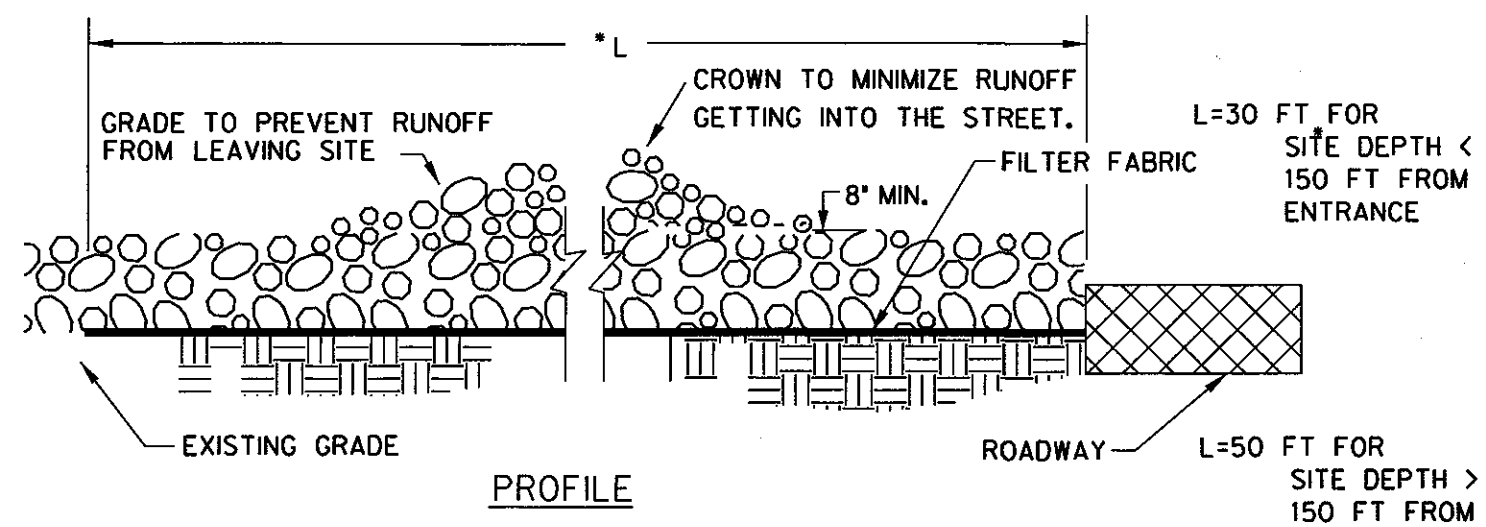


OPEN GRADED ROCK:
4"-8" DIAMETER-STREAM FLOW
3"-5" DIAMETER-OTHER CONDITIONS

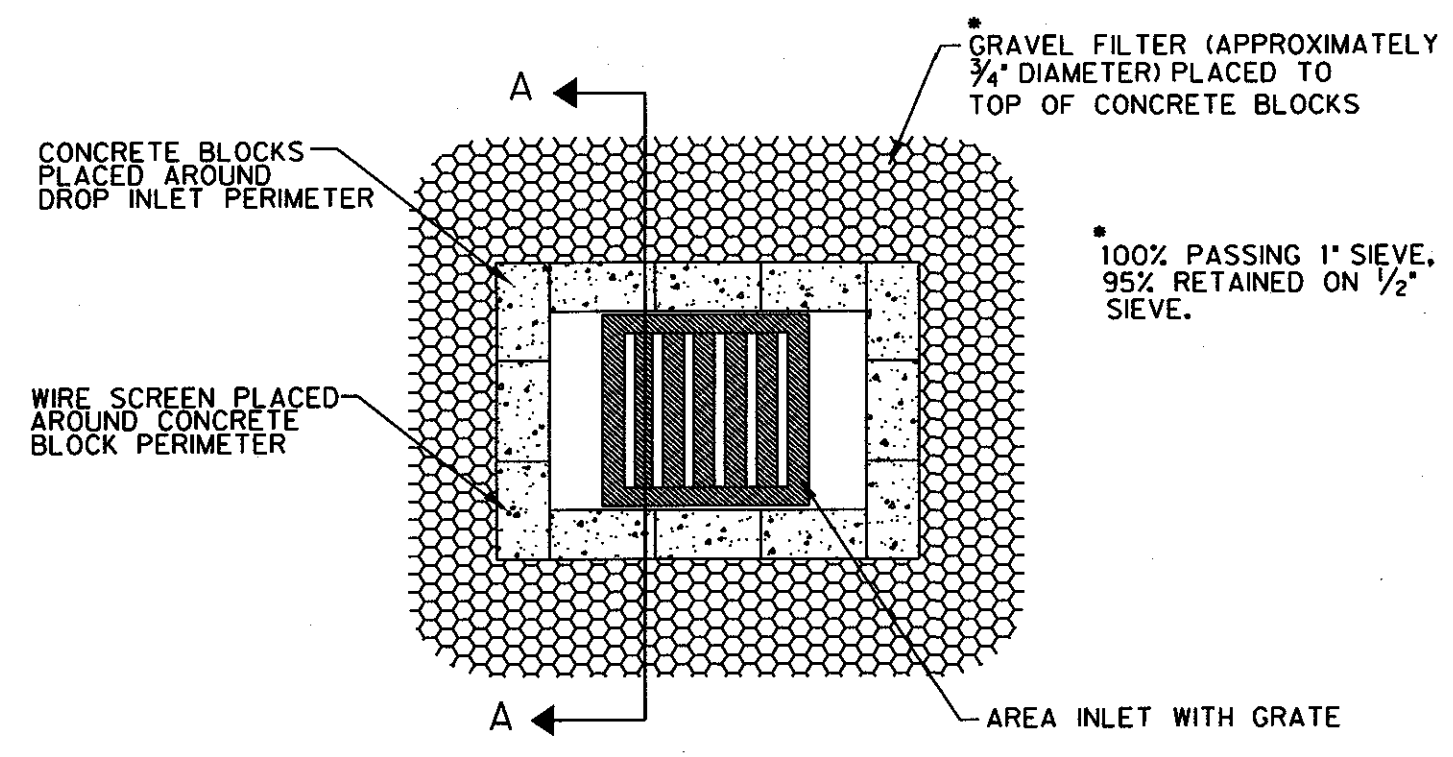
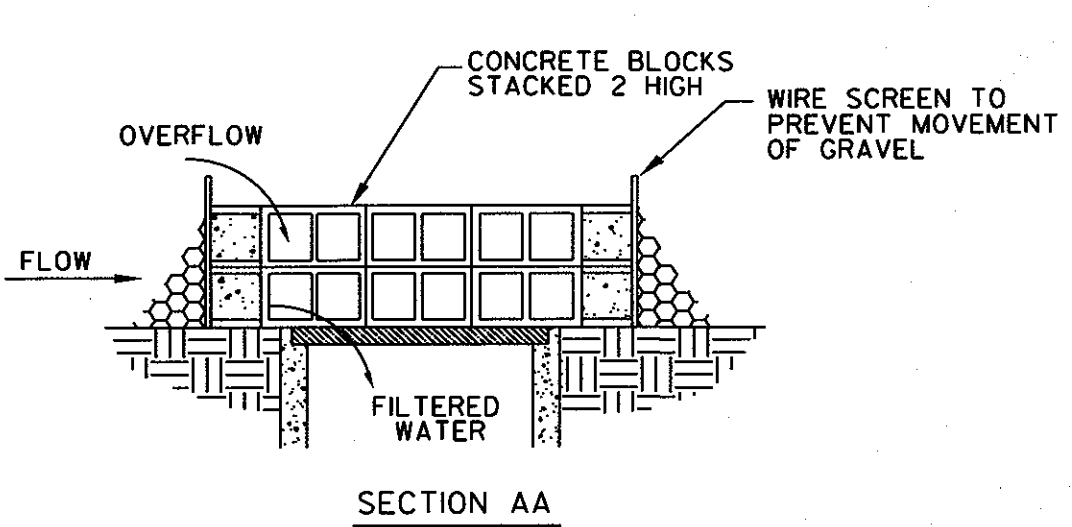
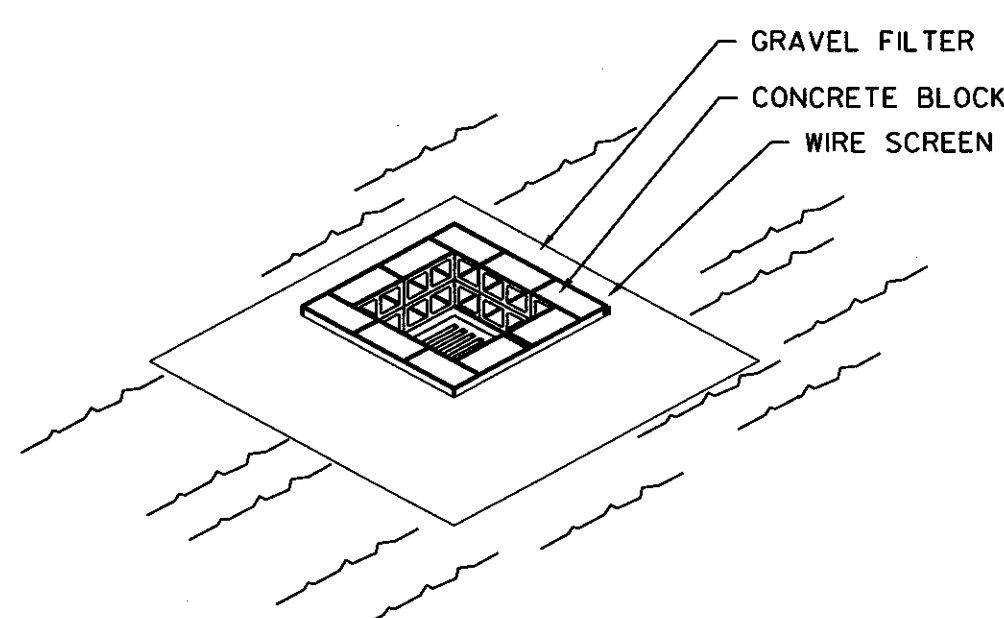
ROCK CHECK DAM
N.T.S.

ROCK CHECK DAM GENERAL NOTES:

- WOVEN WIRE SHEATHING SHALL HAVE MAXIMUM OPENING OF ONE (1) INCH AND A MINIMUM WIRE SIZE OF 20 GAUGE AND SHALL BE SECURED WITH SHOAT RINGS.
- THE ROCK BERM SHALL BE INSPECTED WEEKLY OR AFTER EACH RAIN AND SHALL BE REPLACED WHEN THE STRUCTURE CEASES TO FUNCTION PROPERLY.
- WHEN SILT REACHES A DEPTH EQUAL TO ONE-THIRD OF THE HEIGHT OF THE BERM OR ONE FOOT, WHICHEVER IS LESS, THE SILT SHALL BE REMOVED AND DISPOSED OF IN AN APPROVED MANNER.
- WHEN THE SITE IS COMPLETELY STABILIZED, THE BERM AND ACCUMULATED SILT SHALL BE REMOVED AND DISPOSED OF IN AN APPROVED MANNER.

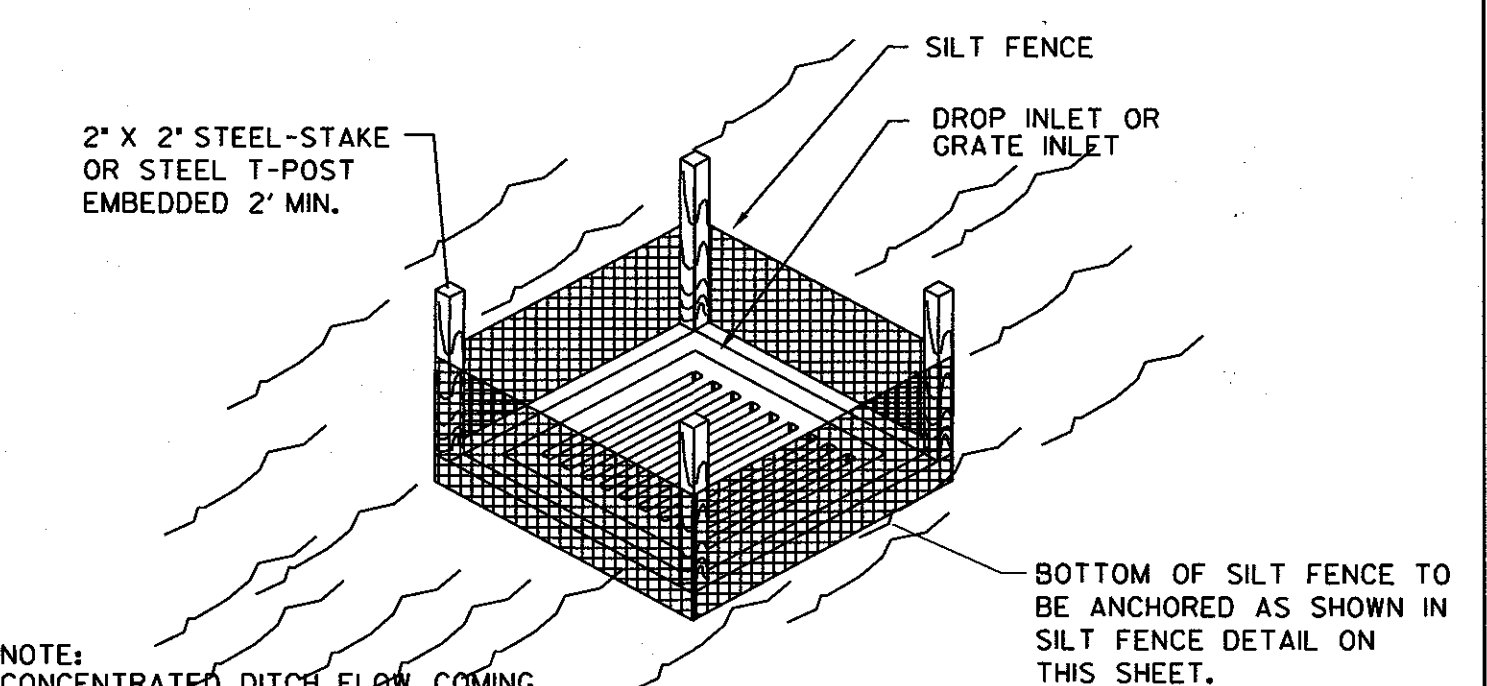


TEMPORARY CONSTRUCTION ENTRANCE DETAIL
N.T.S.



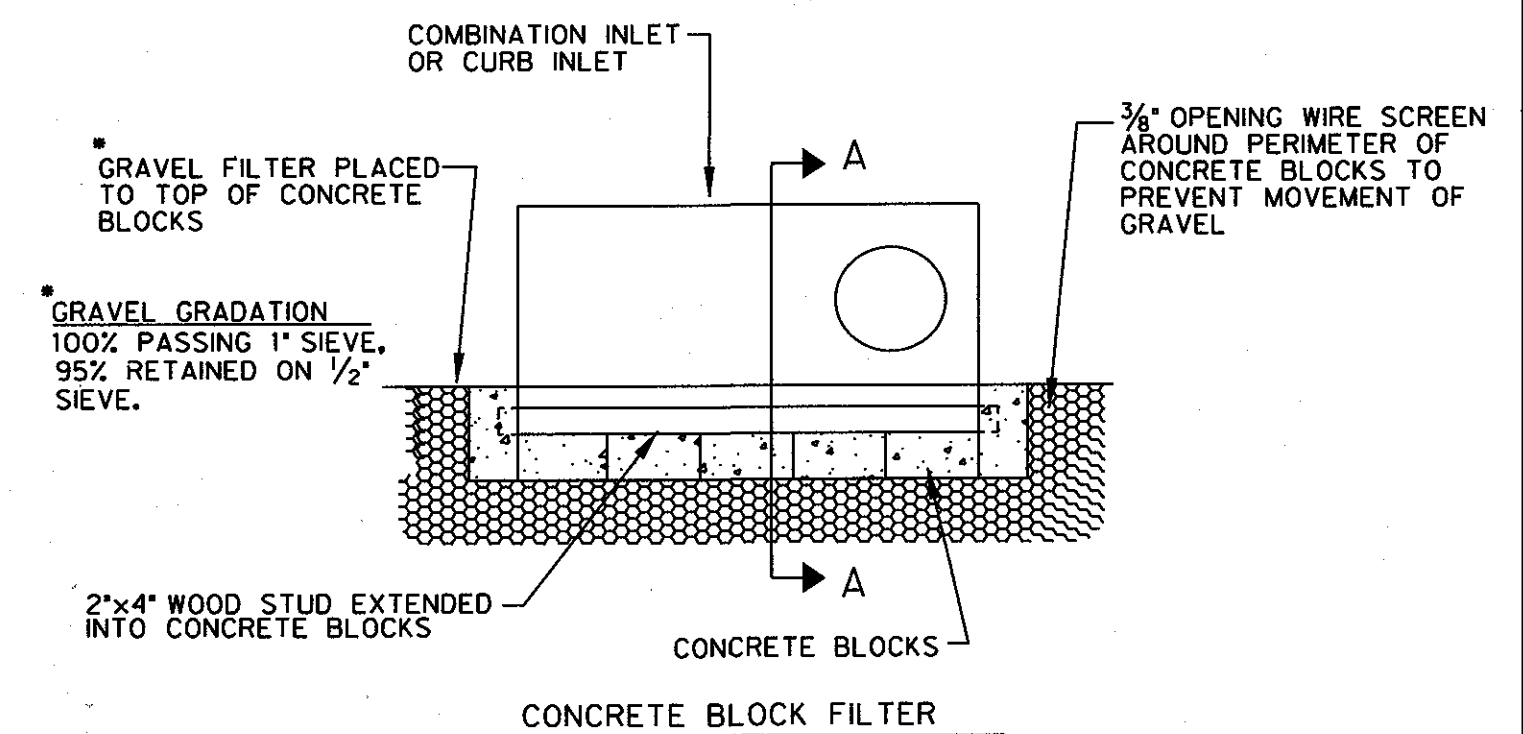
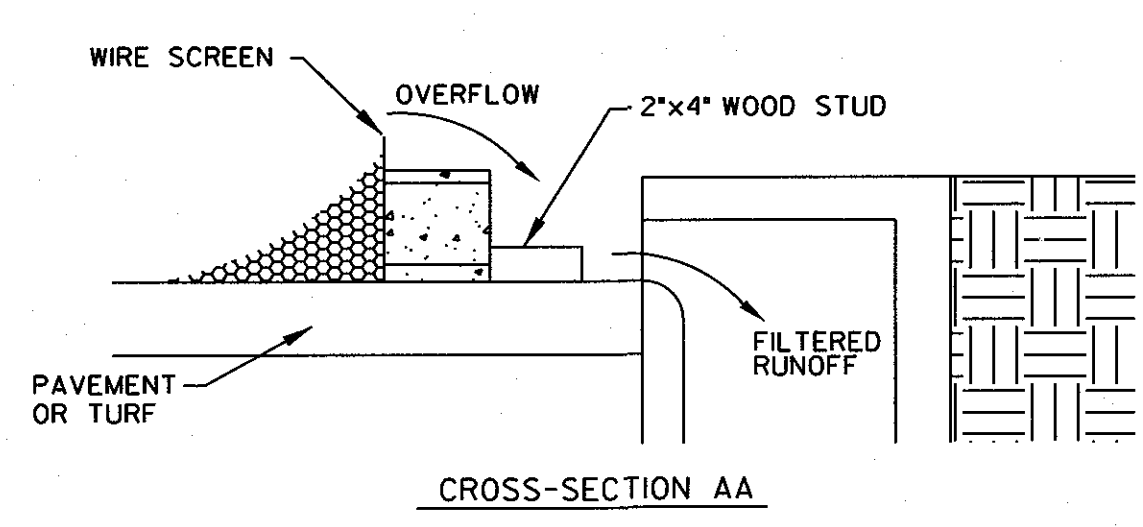
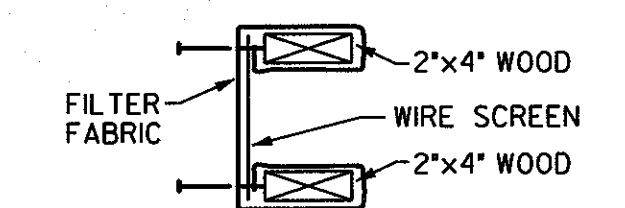
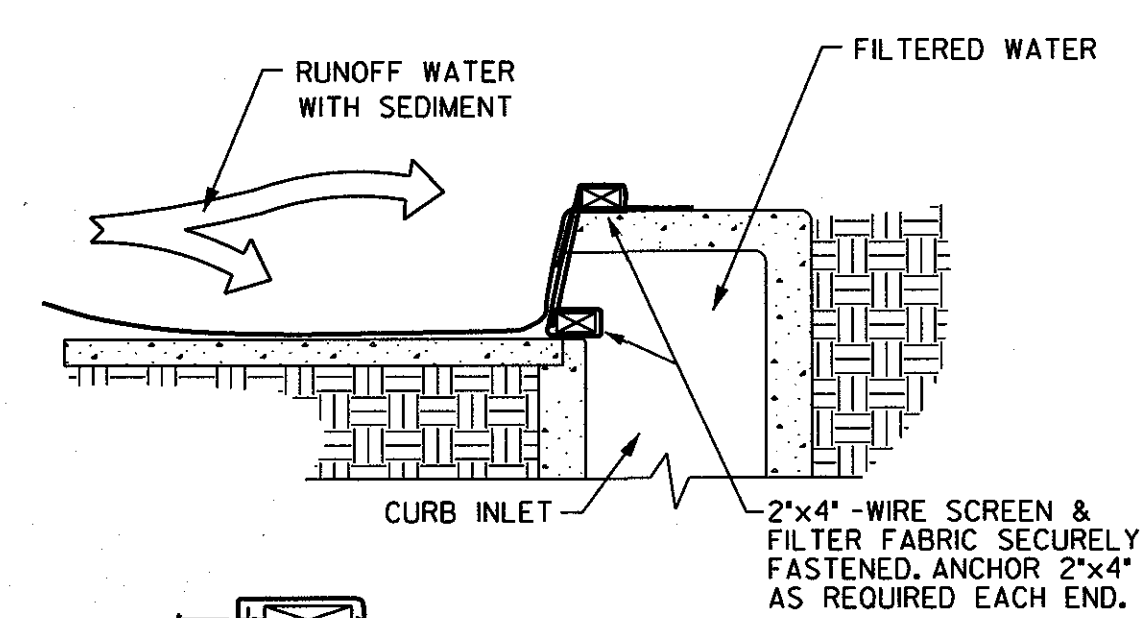
NOTE: GRAVEL FILTERS MAY BE USED ON PAVEMENT OR BARE GROUND

GRATE INLET FILTER PROTECTION
N.T.S.



NOTE: CONCENTRATED DITCH FLOW COMING FROM ONE OR MORE SIDES TO THE DROP INLET MAY REQUIRE A STONE CHECK STRUCTURE TO BE CONSTRUCTED ON ONE SIDE OF THE DROP INLET.

SILT FENCE DROP INLET PROTECTION
N.T.S.



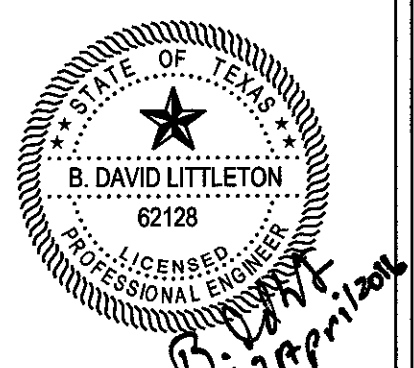
COMBINATION CURB INLET FILTER PROTECTION
N.T.S.

THIS IS NOT A STORM WATER POLLUTION PREVENTION PLAN. THE CONTRACTOR MUST PREPARE ALL RELEVANT DOCUMENTS INCLUDING HIS OPERATION SPECIFIC INFORMATION PER THE TCEQ TPDES PERMIT NO. TXR150000, INCLUDING ALL DOCUMENTATION & CERTIFICATIONS AS REQUIRED BY THE PERMIT.

ATELIER TOWER
FLORA STREET
CITY OF DALLAS, TEXAS

HALFF
1201 NORTH BOWSER ROAD
RICHARDSON, TEXAS 75081-2275
TEL: (972) 346-6500
FAX: (972) 346-6985

Revision No.	Date	Description



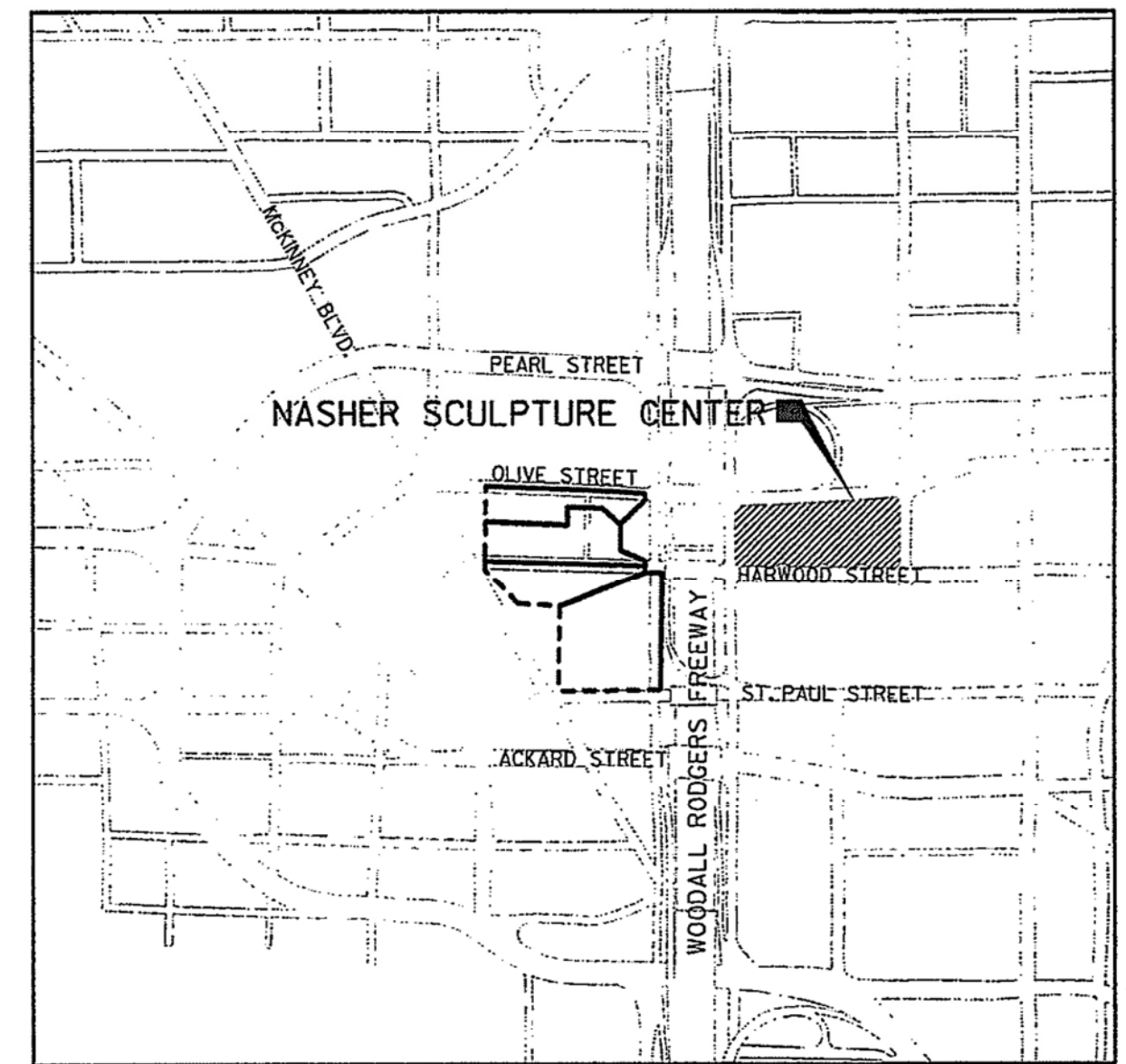
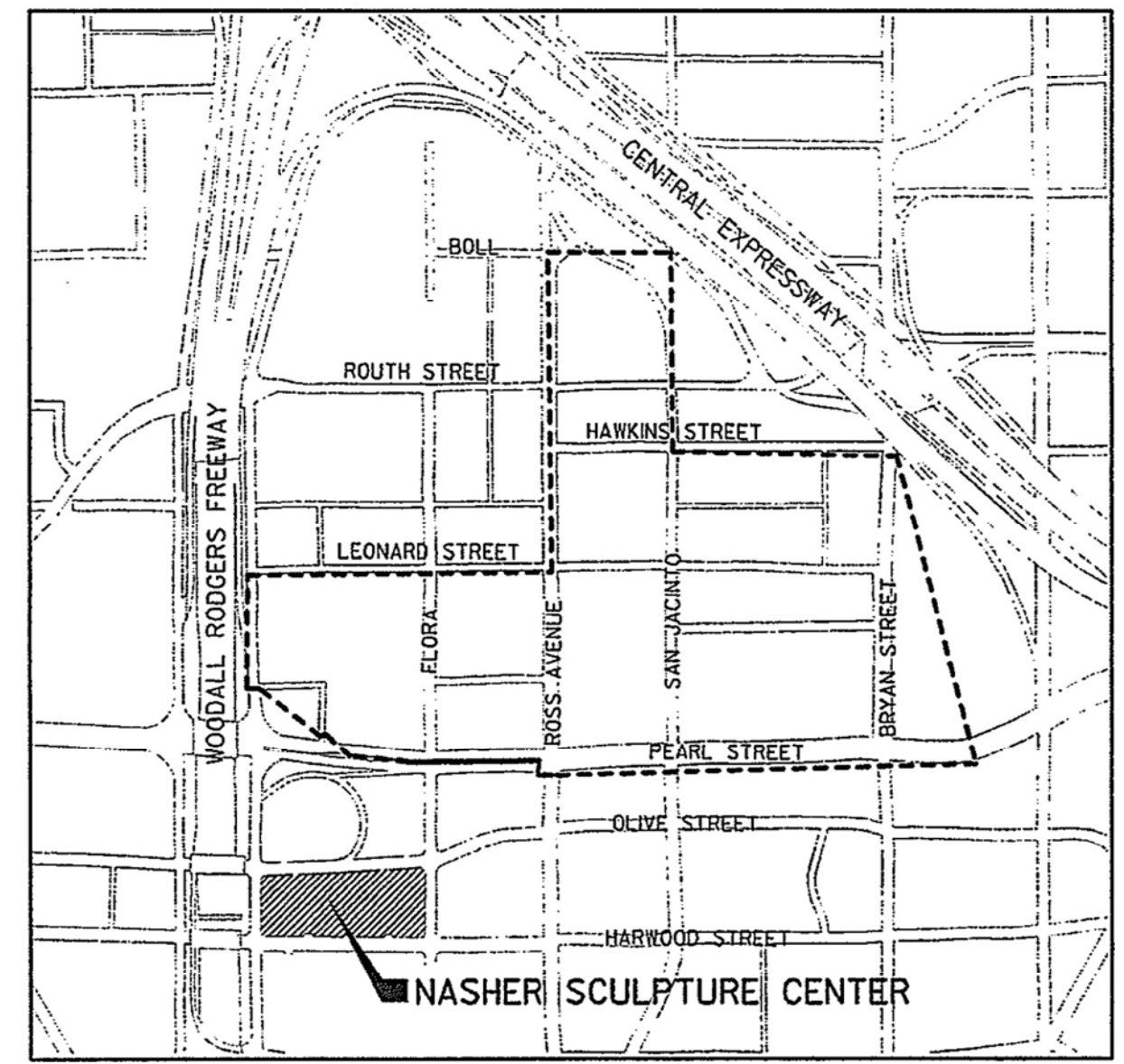
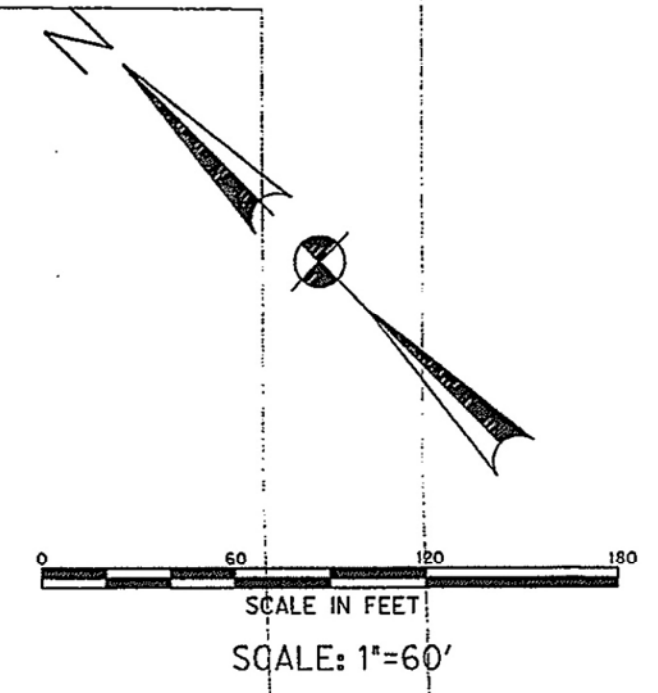
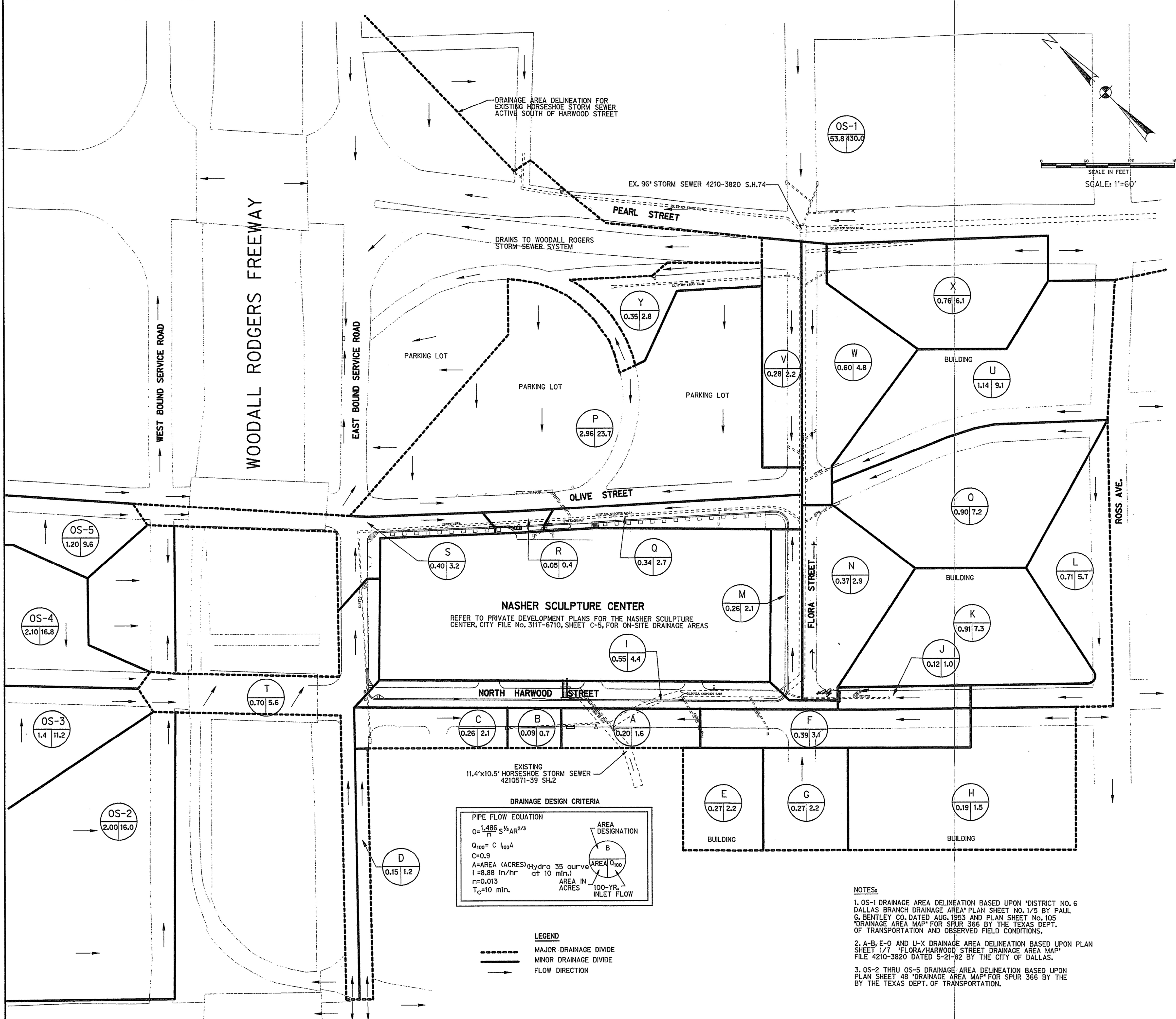
THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY B. DAVID LITTLETON, P.E. #62128 ON 04-27-2018. ALTERATION OF A SEALED DOCUMENT WITHOUT PROPER NOTIFICATION TO THE RESPONSIBLE ENGINEER IS AN OFFENSE UNDER THE TEXAS ENGINEERING PRACTICE ACT. THE RECORD COPY OF THIS DRAWING IS ON FILE AT THE OFFICES OF HALFF ASSOCIATES, INC. 1201 NORTH BOWSER ROAD, RICHARDSON TEXAS 75081 TPEF #IF-312

Project No.: 30735
Issued: MARCH, 2016
Drawn By: CAD
Checked By: KM / BDL
Scale: AS SHOWN
Sheet Title

EROSION CONTROL NOTES & DETAILS

C6.02
Sheet Number

CITY OF DALLAS 311T-8854

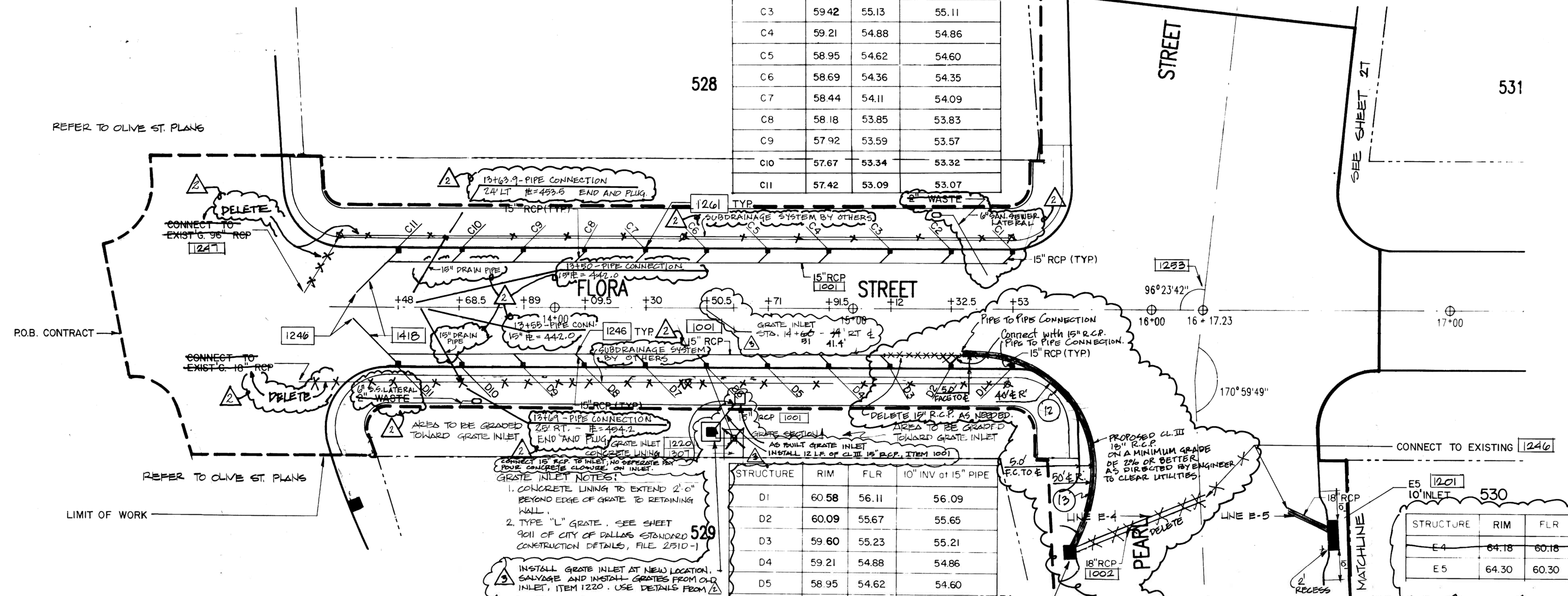
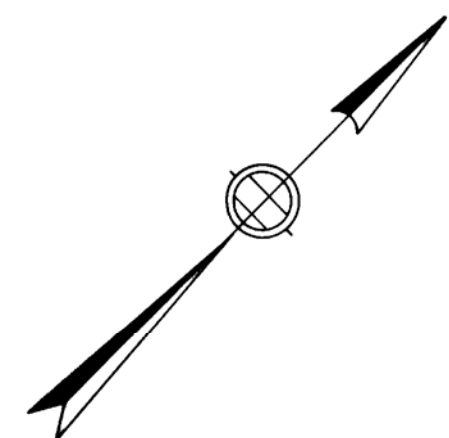


10
14

FILE NO. 351D-390

PERIMETER DRAINAGE AREA MAP					
NASHER SCULPTURE CENTER					
THE NASHER FOUNDATION					
CITY OF DALLAS, TEXAS					
Half Associates ENGINEERS · ARCHITECTS · SCIENTISTS · PLANNERS · SURVEYORS					
DESIGN	DRAWN	DATE	SCALE	NOTES	FILE
HALFF	JLS	JULY 2002	1"=60'	181385S 138DAMPW	

STRUCTURE	RIM	FLR.	10" INV. at 15" PIPE
C1	59.80	55.64	55.62
C2	59.61	55.39	55.37
C3	59.42	55.13	55.11
C4	59.21	54.88	54.86
C5	58.95	54.62	54.60
C6	58.69	54.36	54.35
C7	58.44	54.11	54.09
C8	58.18	53.85	53.83
C9	57.92	53.59	53.57
C10	57.67	53.34	53.32
C11	57.42	53.09	53.07

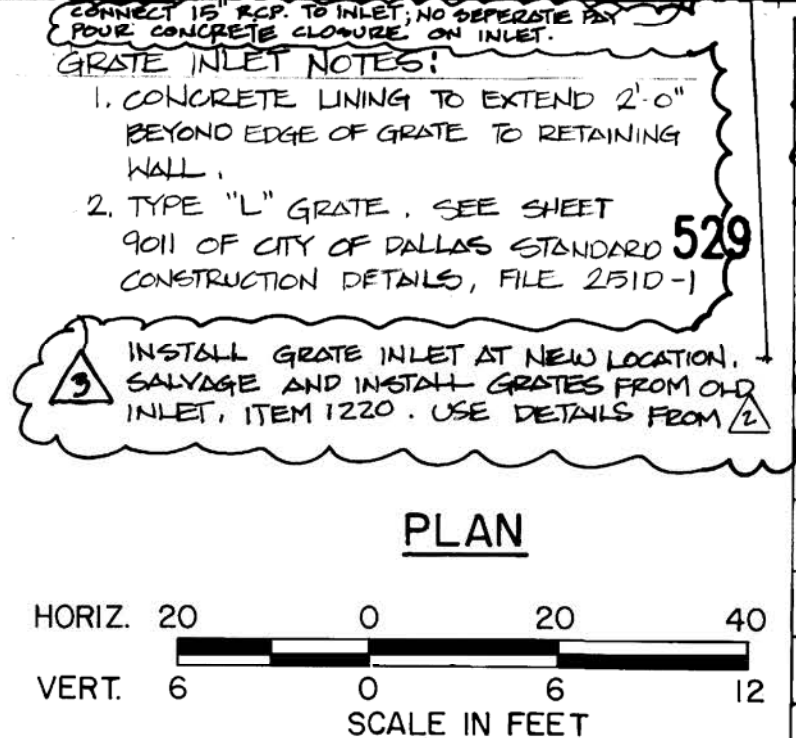


PLAN REVISION			
NO.	DESCRIPTION	BY	DATE
1	RELOCATED LINE E-4. DELETED 15" R.C.P. AS SHOWN - ADDED PIPE CONNECTIONS TO 15" R.C.P.	AG	11-21-87
2	ADDED 15" RCP AS SHOWN ON PLAN. DELETED SUB-DRAINAGE SYSTEM AS SHOWN. ADDED 6" SANITARY SEWER LATERAL AS SHOWN ON NOTE AND PLAN. ADDED ELEVATIONS AT GRATE SECTION.	AG	2-5-88
3	INSTALL GRATE INLET AT NEW LOCATION. SHOW AS BUILT GRATE INLET. ADD 15" RCP AS SHOWN ON PLAN.	PW	4-1-88

BM: 'd' CUT TOP OF CONCRETE CURB/GRATE INLET NORTH SIDE OF FLORA STREET - 35' EAST OF LEONARD STREET. ELEVATION: 468.12'

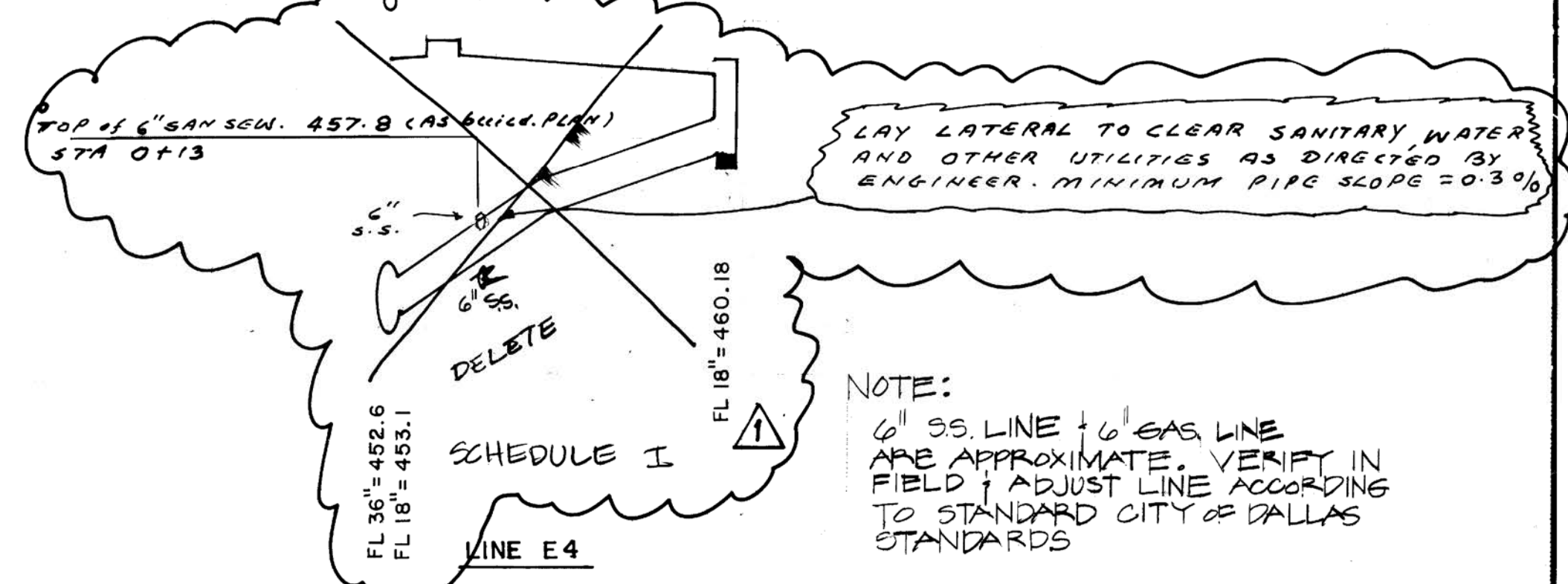
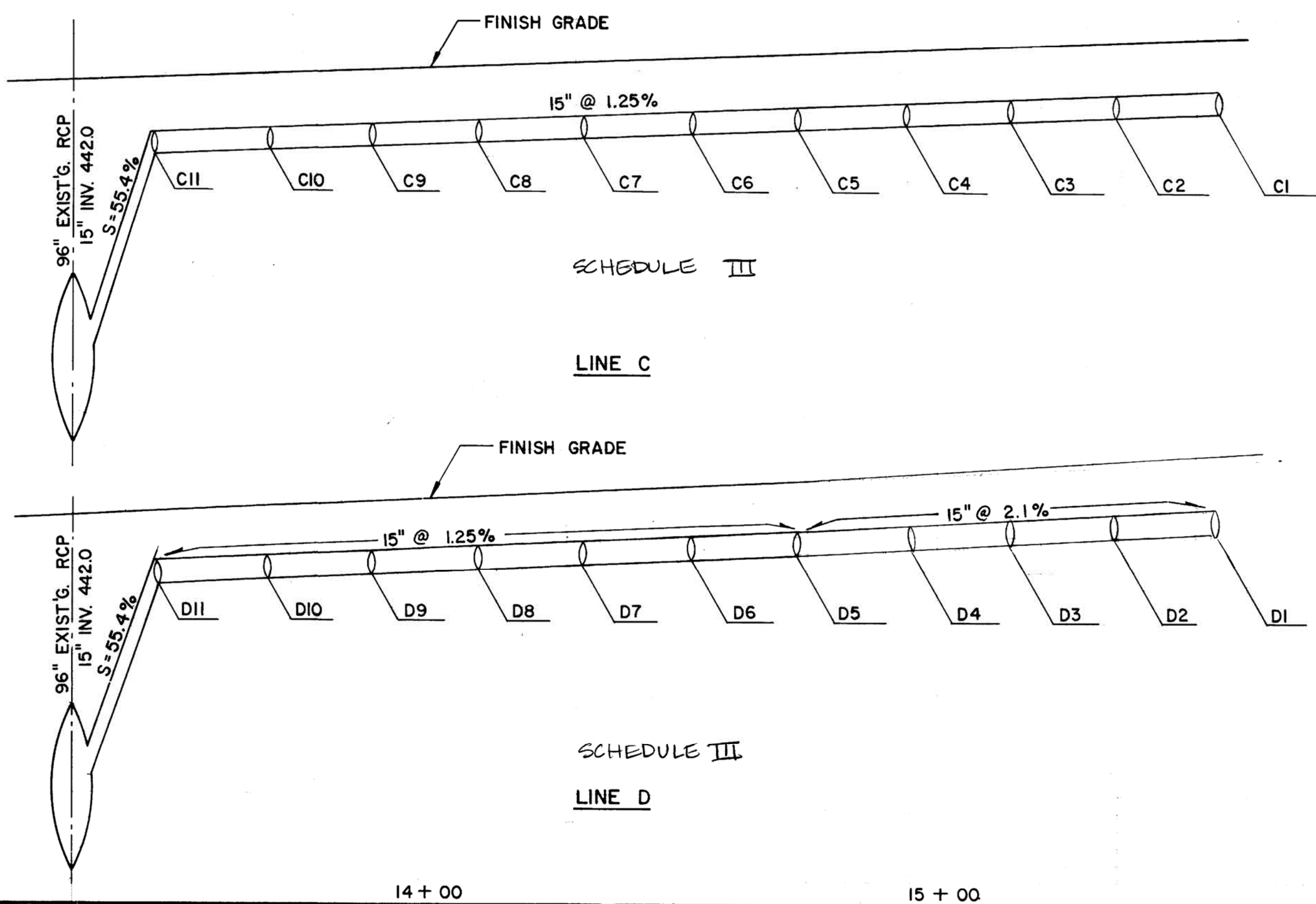
BM: 'd' CUT TOP OF CURB AT NORTHWEST CORNER OF ROSS AVENUE/OLIVE STREET. ELEVATION: 467.75'


- NOTES FOR 6" SANITARY SEWER WASTE**
- POLYVINYL CHLORIDE (PVC) NONPRESSURE PIPE FOR GRAVITY SEWERS SHALL CONFORM TO ASTM D 3034, SDR 35 MINIMUM WALL THICKNESS.
 - PIPE SHALL BE BELL-AND-SPIGOT IN STANDARD LENGTHS OF 12'-6".
 - BELL END SHALL BE AN INTERGAL WALL SECTION WITH SOLID CROSS SECTION RUBBER RING, FACTORY ASSEMBLED.
 - SPIGOT END SHALL BE BEVELED TO ENSURE PROPER INSERTION. SPIGOT SHALL BE IMPRINTED WITH AN "ASSEMBLY STRIPE" TO WHICH THE BELL END OF THE MATED PIPE WILL EXTEND UPON PROPER JOINTING OF THE TWO PIPES.
 - RUBBER RINGS SHALL CONFORM TO ASTM D 3212.
 - PIPE ENDS SHALL PERMIT CHECKING OF THE RINGS WITH A FEELER GAGE TO ENSURE THEIR PROPER LOCATION OF THE COUPLING GROOVES.
 - P.V.C. FITTINGS SHALL BE BELL-AND-SPIGOT TYPE, COMPATIBLE WITH THE PIPE.



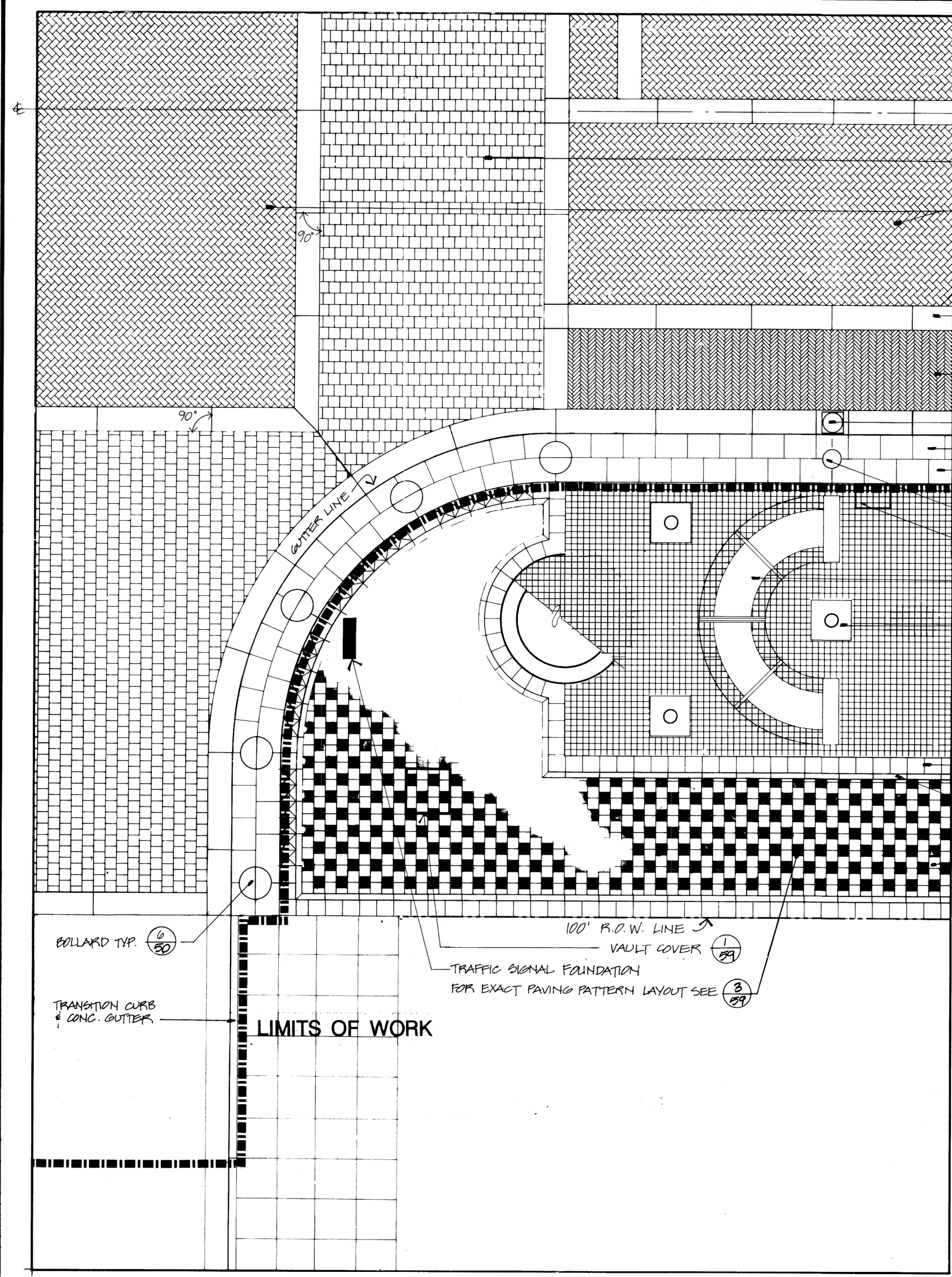
STRUCTURE	RIM	FLR.	10" INV. at 15" PIPE
D1	60.58	56.11	56.09
D2	60.09	55.67	55.65
D3	59.60	55.23	55.21
D4	59.21	54.88	54.86
D5	58.95	54.62	54.60
D6	58.69	54.36	54.34
D7	58.44	54.11	54.09
D8	58.18	53.85	53.83
D9	57.92	53.59	53.57
D10	57.66	53.33	53.31
D11	57.41	53.08	53.06

CURVE	R	Δ	T	L
12	40.00'	88° 30'	39.0'	61.8' ±
13	50.00'	29° 45' ±	13.3'	26.0' ±

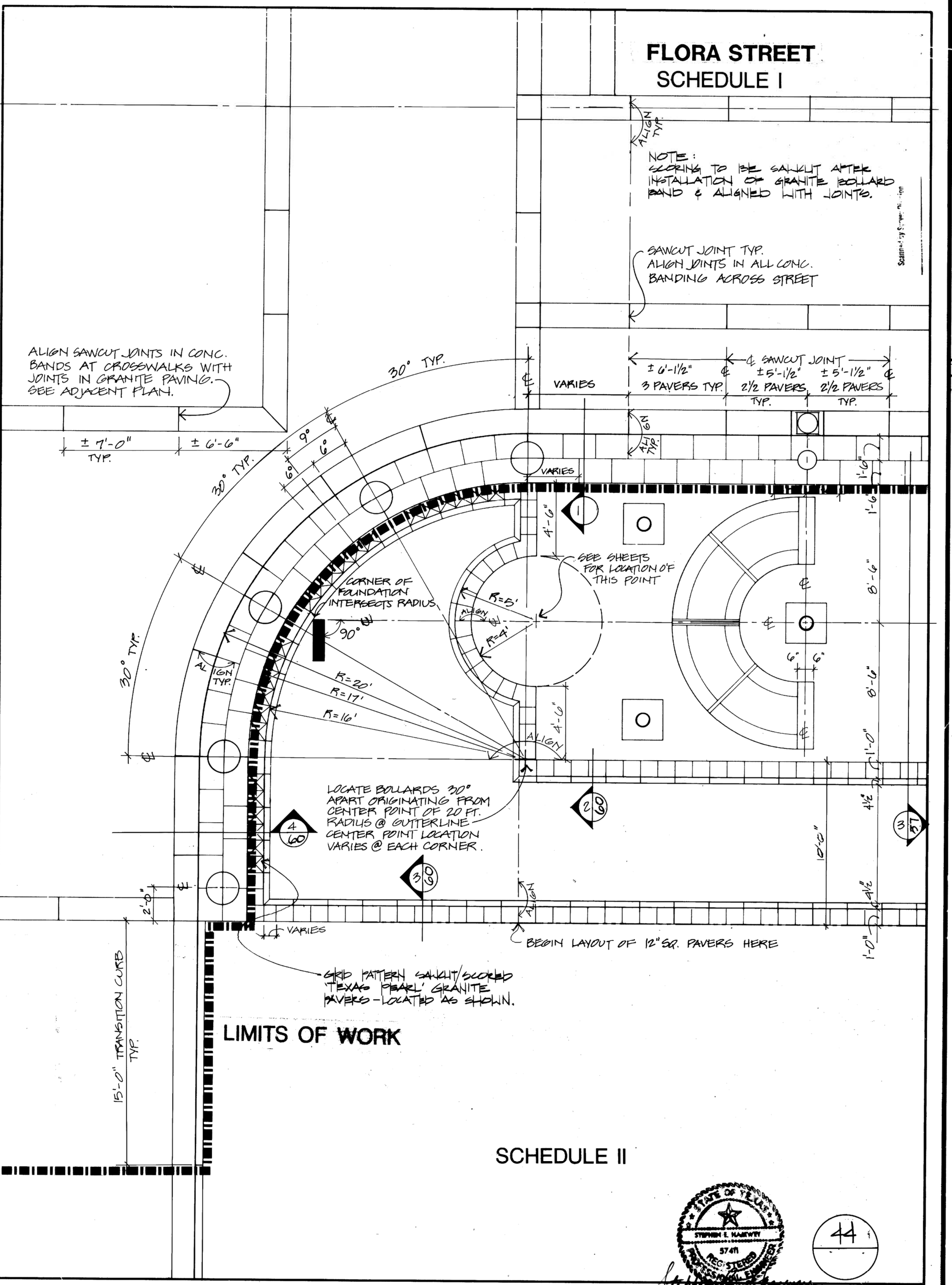



DALLAS ARTS DISTRICT
CONCERT LIGHTS
 Drainage Plan
 Flora St. - Olive St. to Pearl St.
CITY OF DALLAS, TEXAS

DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
PC/AG	PW	7.17.87	AS NOTED		311D	3133



- NOTES
- 1) ALL GRANITE PAVERS ALONG A RADIUS SHALL BE CUT IN A RADIAL MANNER. JOINTS SHALL BE CONSISTENT WIDTH.
 - 2) ALL DIMENSIONS GIVEN ARE TO THE CENTER LINE OF THE JOINT.
 - 3) JOINTS IN GRANITE PAVERS SHALL BE 1/2" STRUCK MORTAR JOINTS.
 - 4) JOINTS IN PRECAST CONCRETE UNIT PAVERS SHALL BE HAND TIGHT AND SAND SWEEP.
 - 5) REFER TO MATERIALS PLAN - SHEET FOR ADDITIONAL DIMENSIONS.
 - 6) BEGIN BOLLARD BAND PAVEMENT LAYOUT AT LIGHT POLE.
 - 7) CONCRETE BAND SCORING IS TO BE SAWCUT AFTER INSTALLATION OF GRANITE BOLLARD BAND & ALIGNED WITH JOINTS.
 - 8) STREET INTERSECTION ANGLE VARIES.

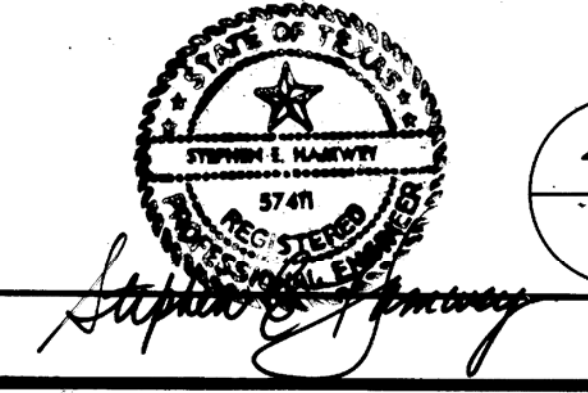


FLORA STREET SCHEDULE I

NOTE: SCORING TO BE SAWCUT AFTER INSTALLATION OF GRANITE BOLLARD BAND & ALIGNED WITH JOINTS.

SAWCUT JOINT TYP. ALIGN JOINTS IN ALL CONC. BANDING ACROSS STREET

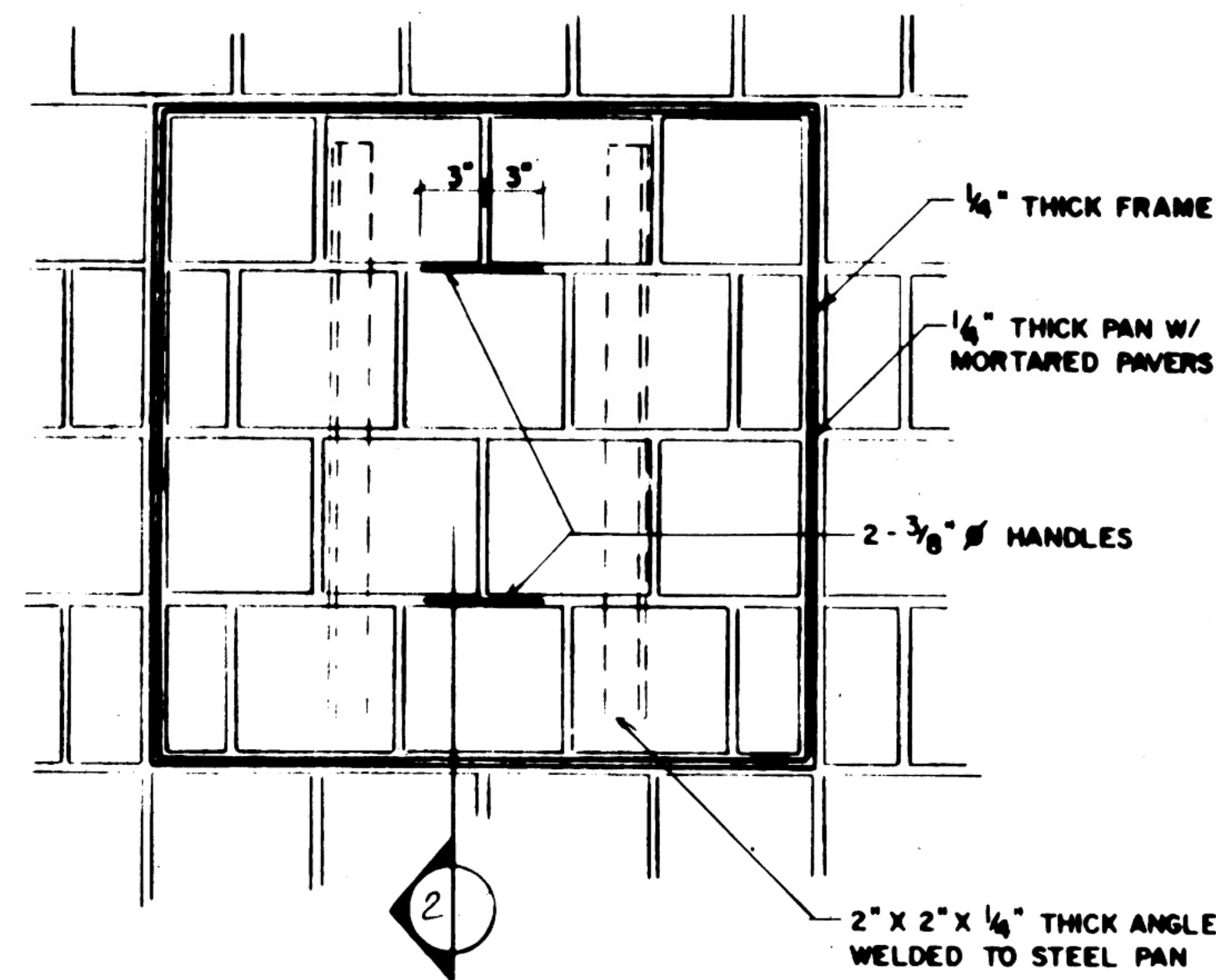
SCHEDULE II



(1) TYP. ENLARGED CORNER PAVING PATTERN PLAN
1/4" = 1'-0"

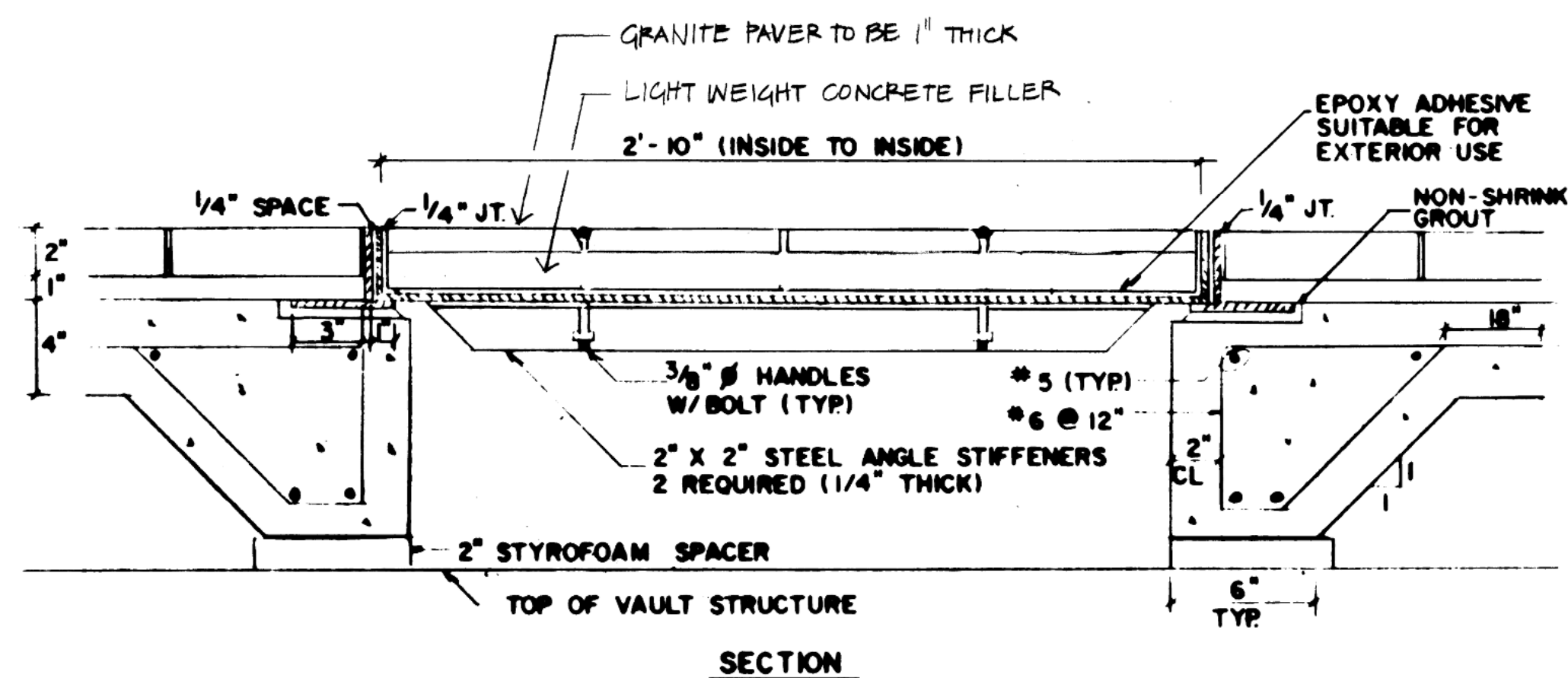
(2) TYP. ENLARGED CORNER DIMENSION PLAN
1/4" = 1'-0"

DALLAS ARTS DISTRICT						
CONCERT LIGHTS						
Corner Plan Enlargement						
CITY OF DALLAS, TEXAS						
DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
RT	SH/RL	7-17-87	AS NOTED		311D	3133



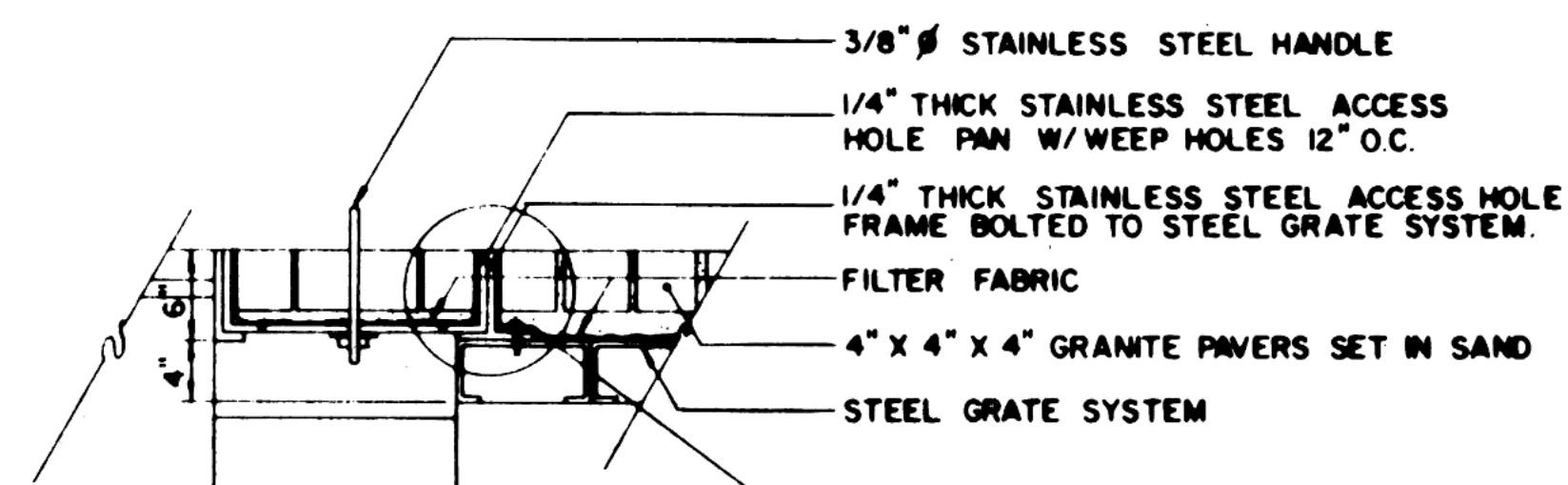
PLAN

1 GRANITE FILL COVER



SECTION

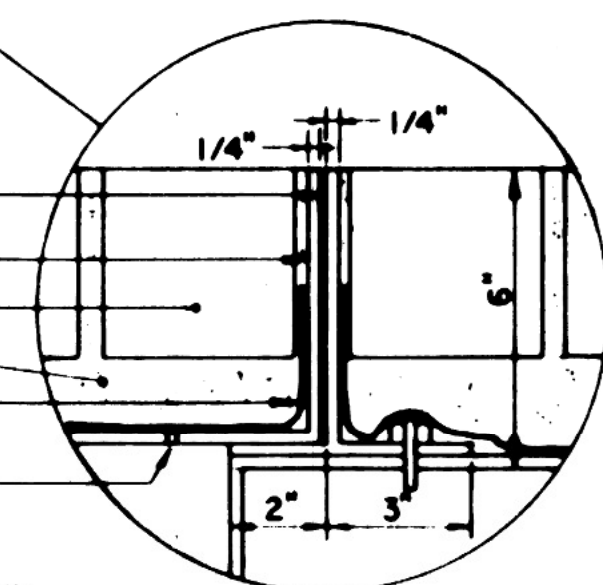
2 GRANITE FILL COVER



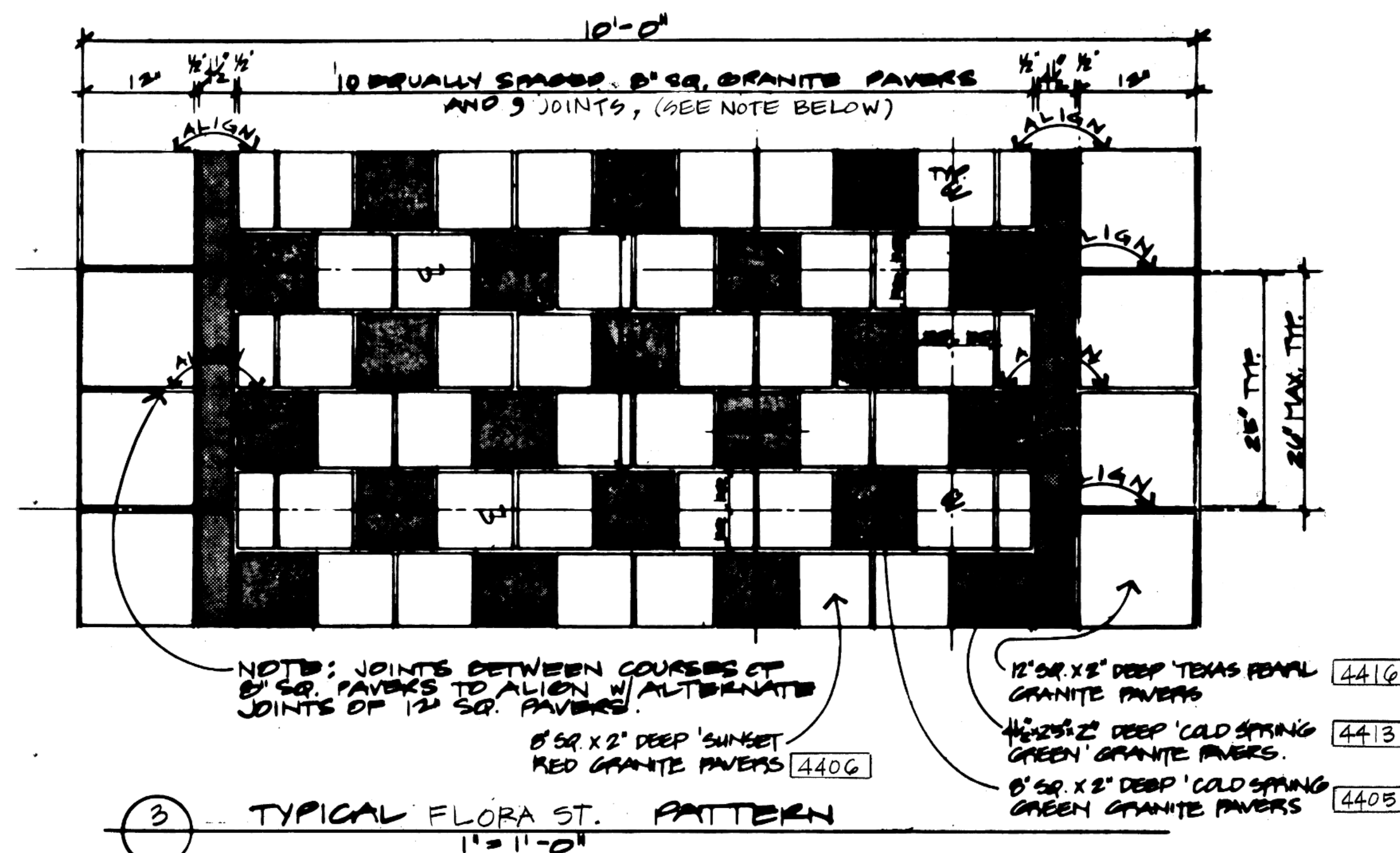
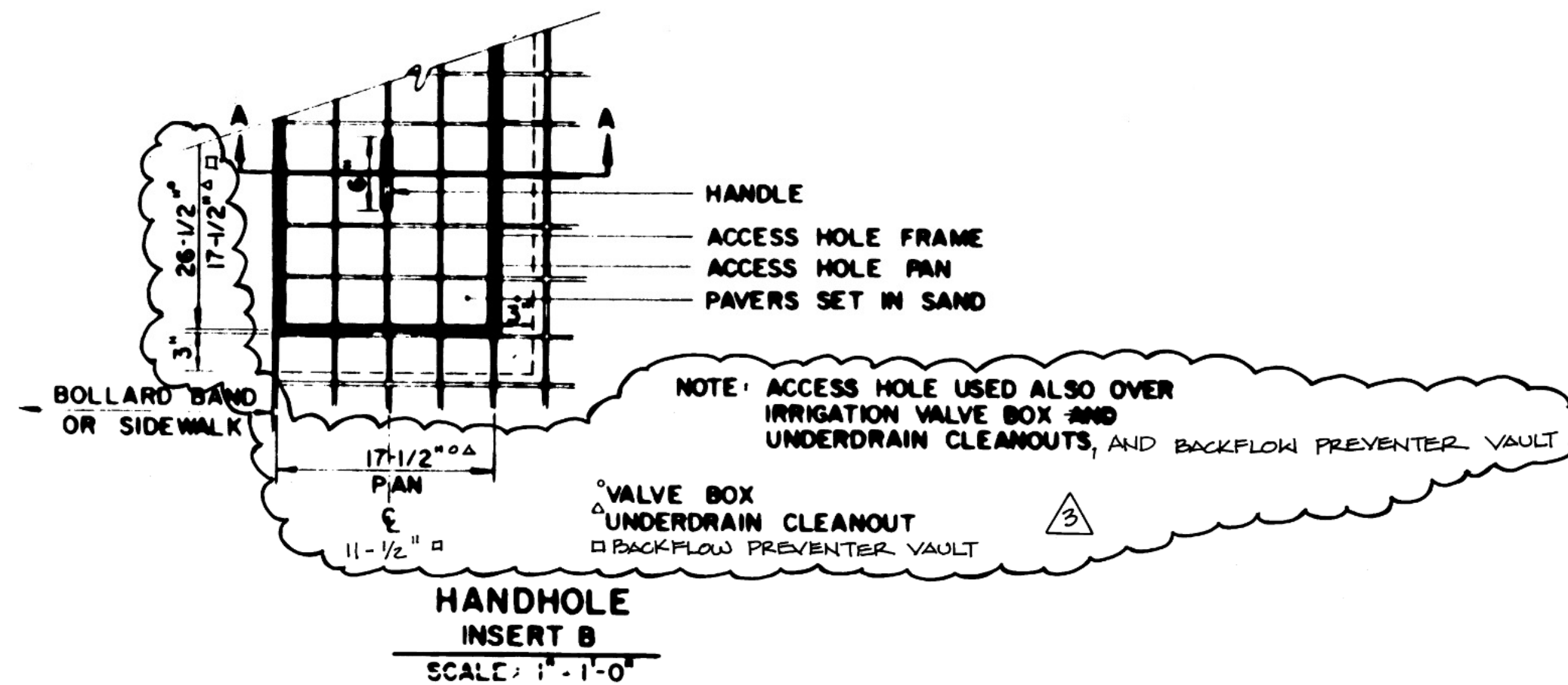
SECTION A-A
SCALE: 1-1/2" = 1'-0"

- STAINLESS STEEL ACCESS HOLE FRAME BOLT TO DECK 12" O.C.
- STAINLESS STEEL ACCESS HOLE PAN
- GRANITE PAVERS
- SAND
- FILTER FABRIC
- WEEP HOLES 12" O.C.

HANDHOLE INSERT A
SCALE AS NOTED



SCALE: 3" = 1'-0"



3 TYPICAL FLORA ST. PATTERN
1" = 1'-0"

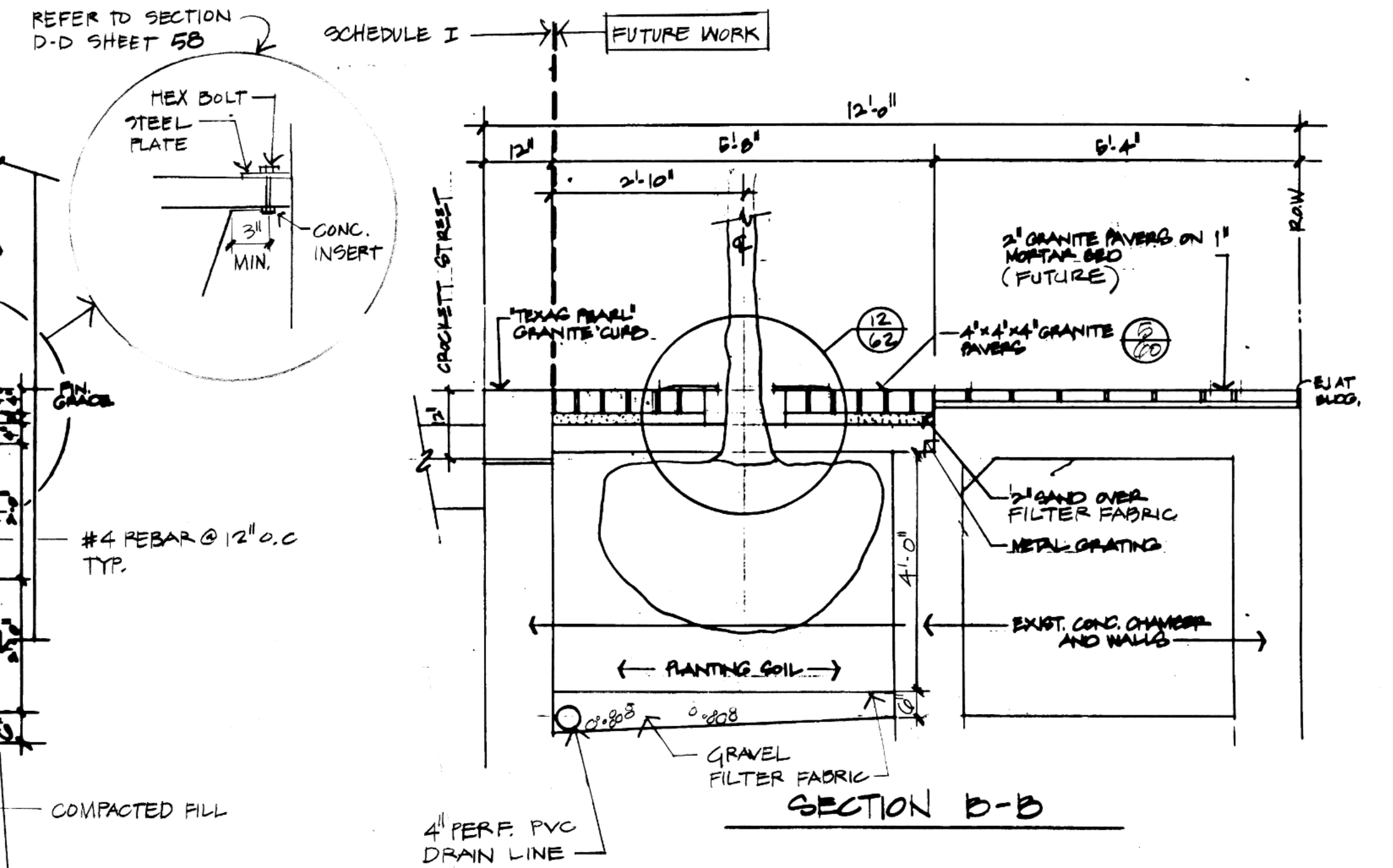
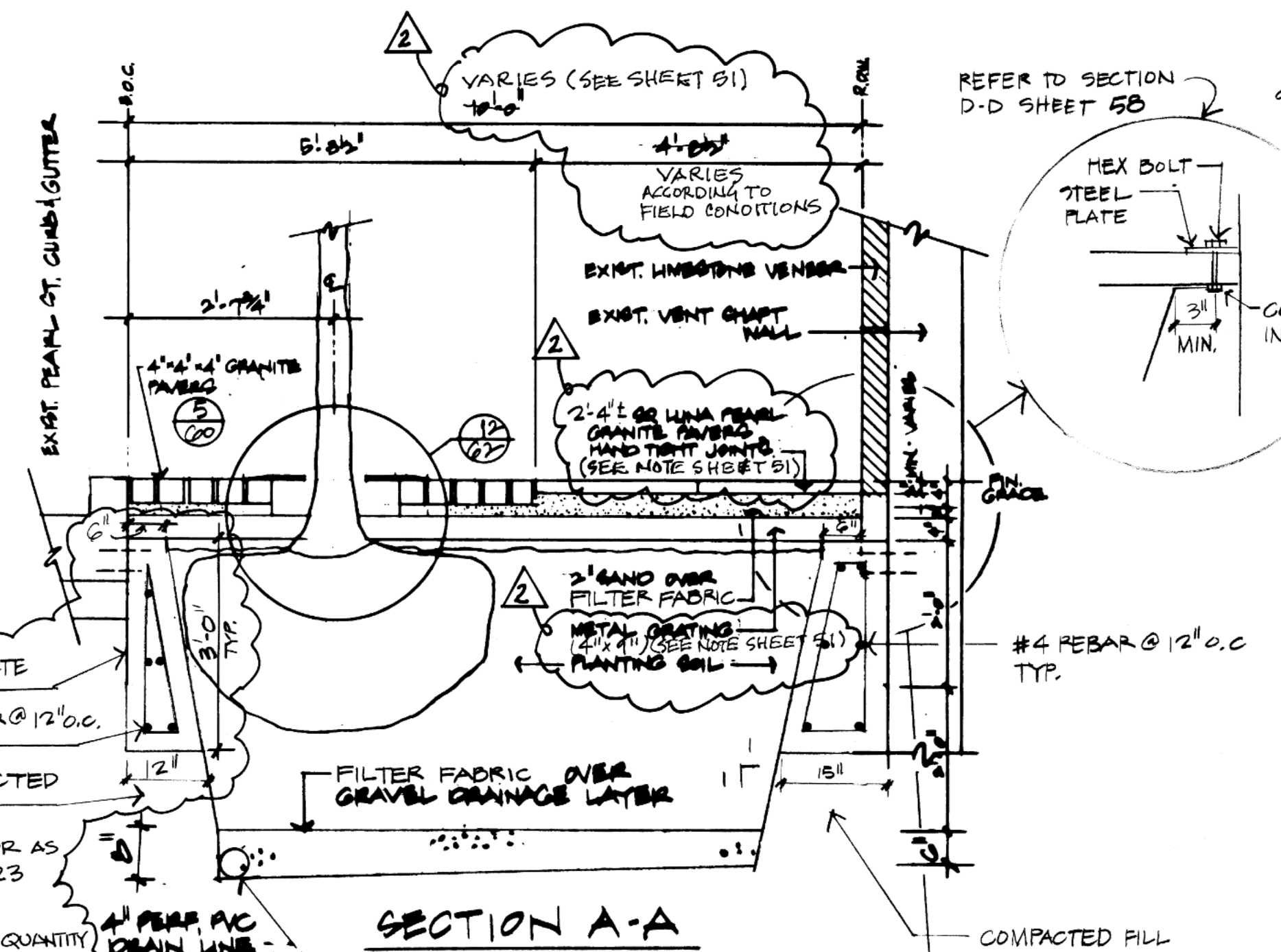
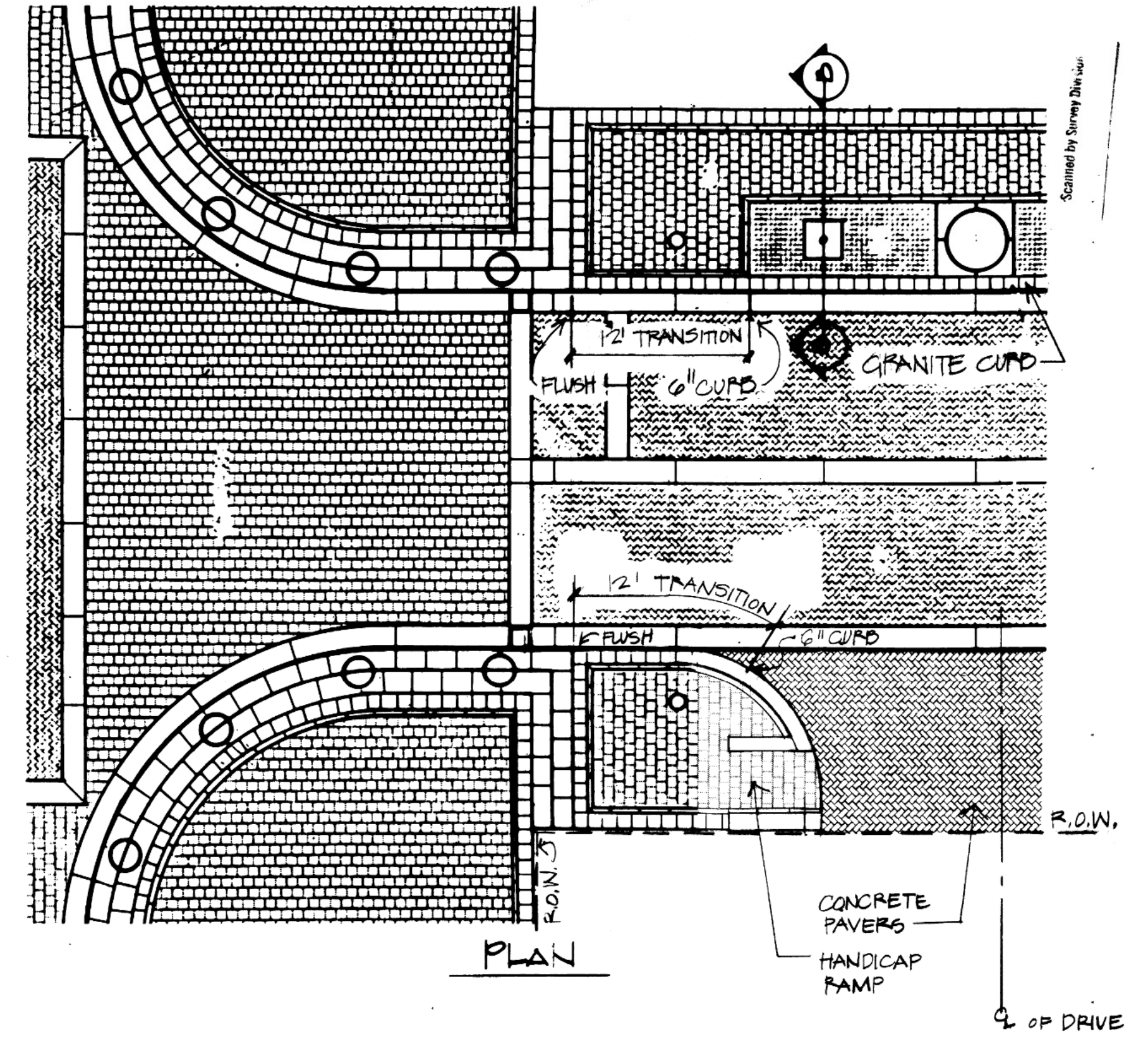
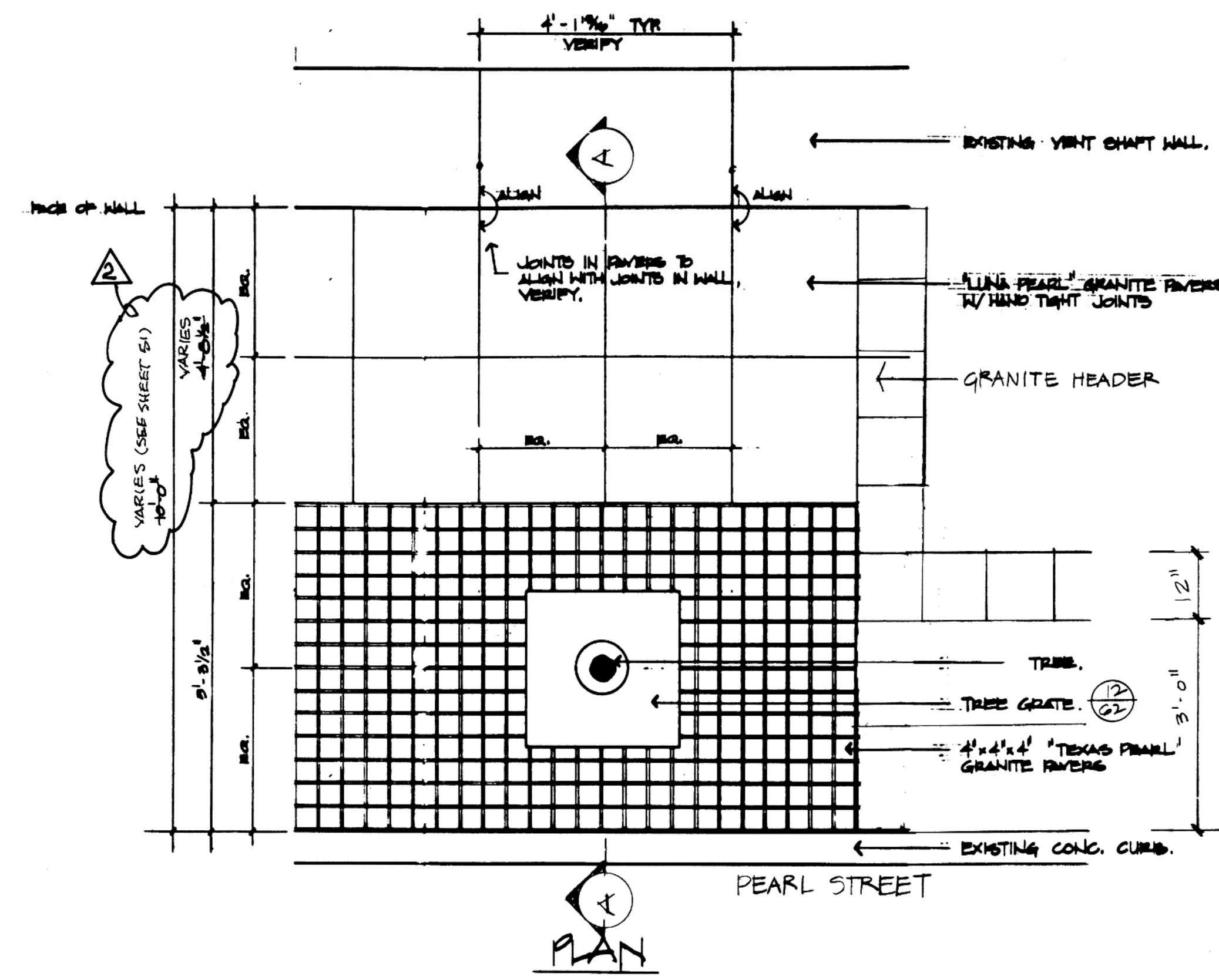
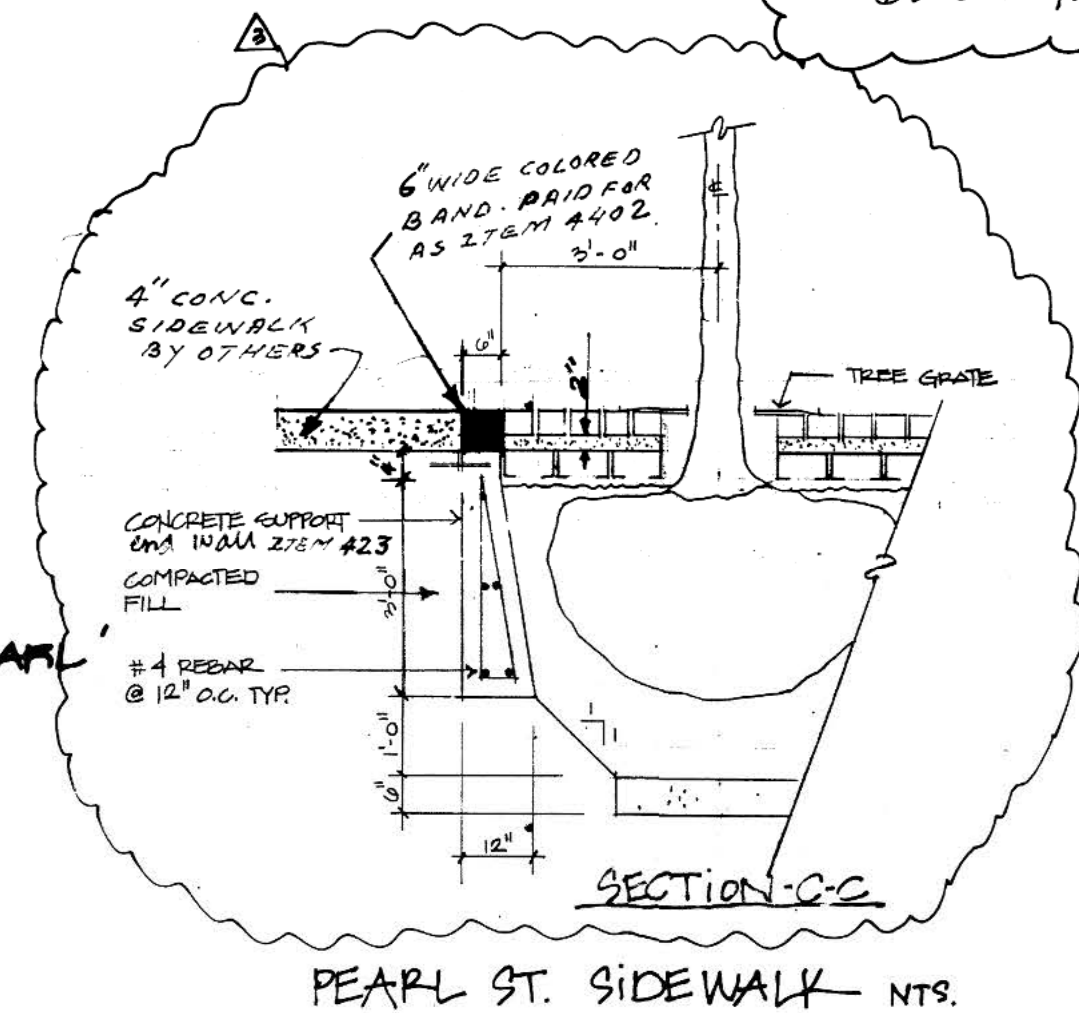
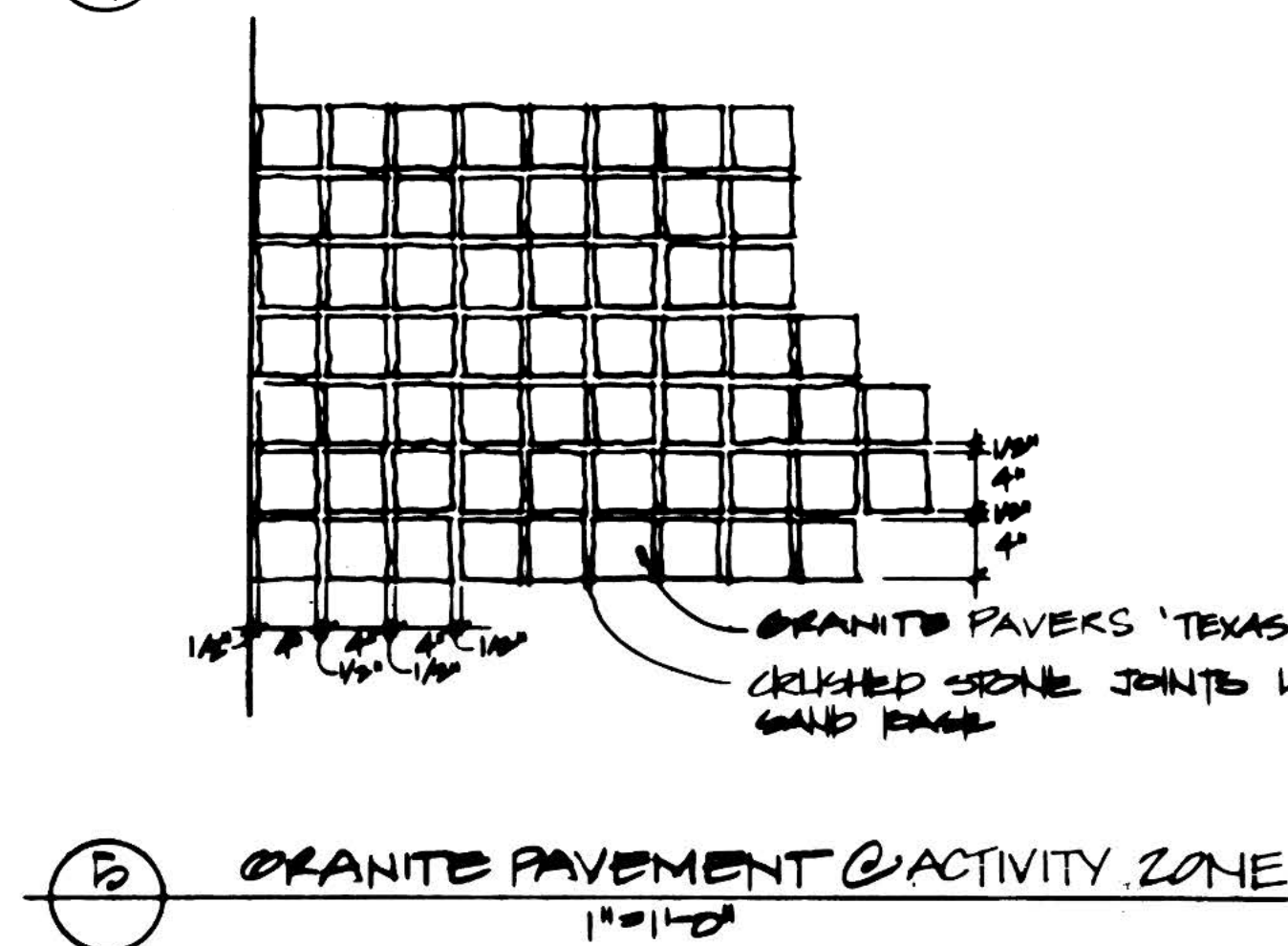
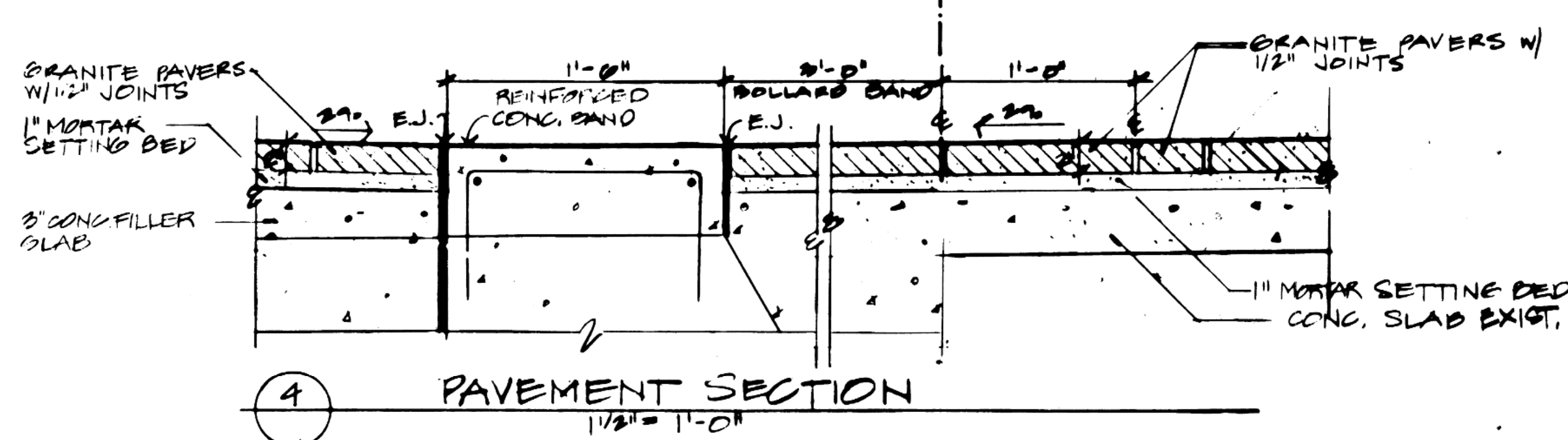
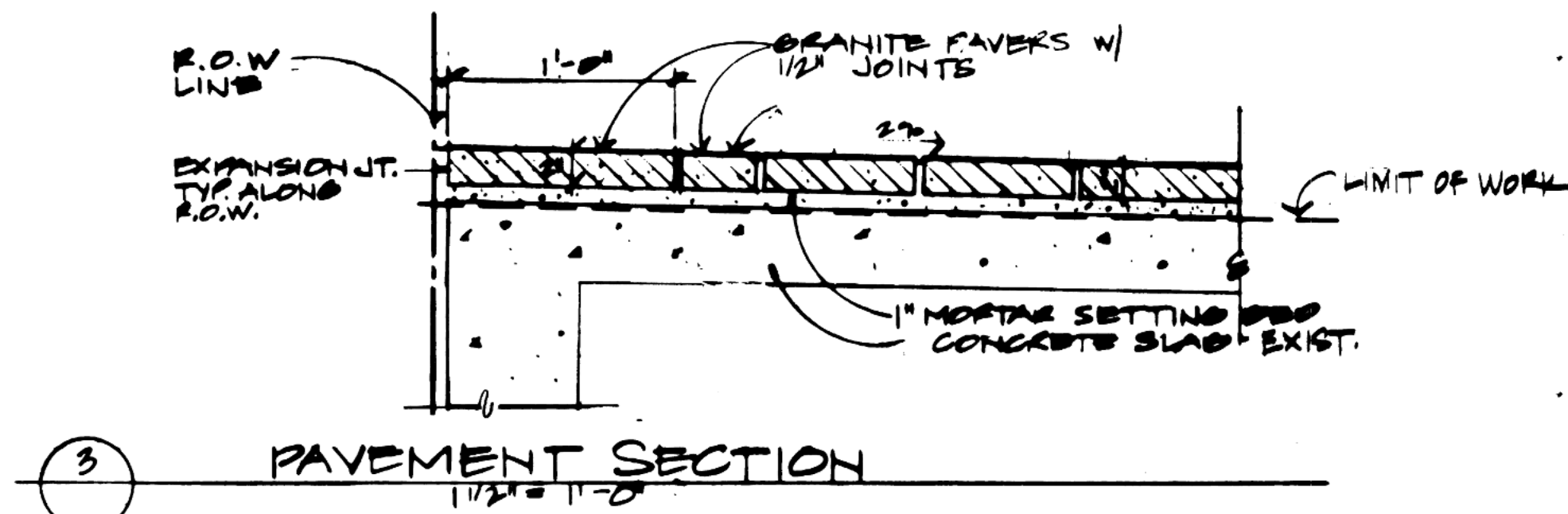
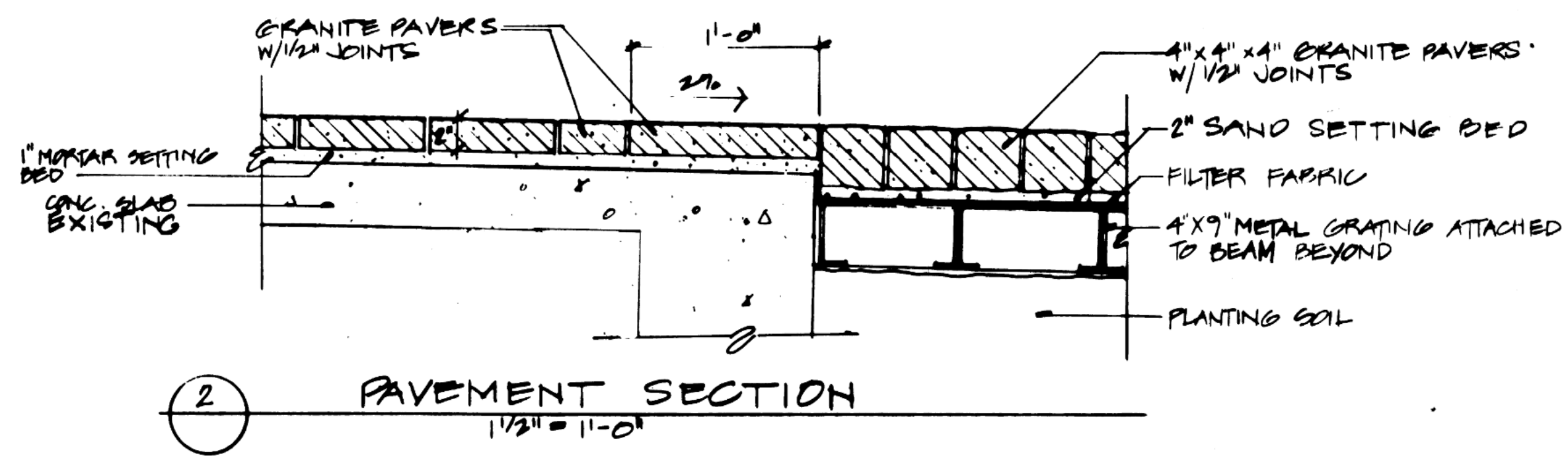
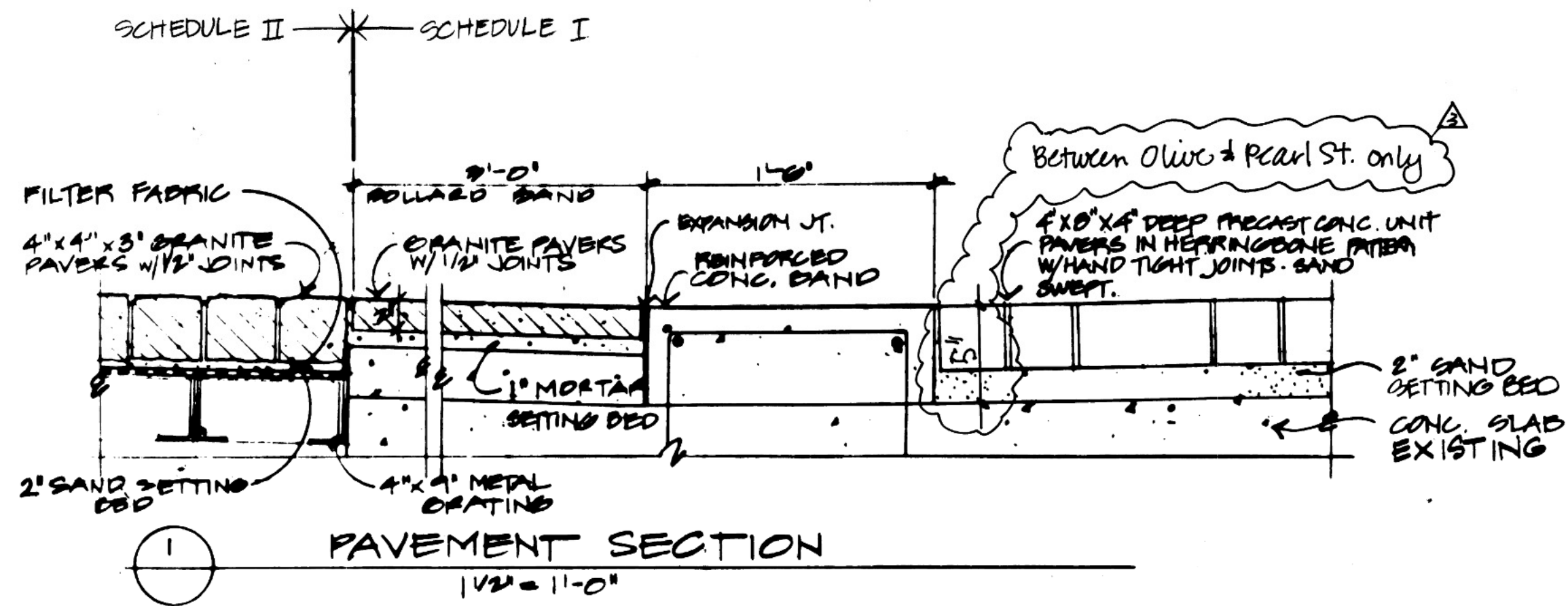
NOTE: CENTER LINE OF 8" SQUARE PAVERS ABOVE AND BELOW JOINTS TO BE SYMMETRICAL AND SQUARE ABOUT THE JOINT CENTER LINE. JOINT SPACING SHALL VARY BETWEEN 3/8" MINIMUM TO 5/8" MAXIMUM AS FIELD CONDITIONS WARRANT.

PLAN REVISION			
NO.	DESCRIPTION	BY	DATE
3	ADD BACKFLOW PREVENTER VAULT SIZE TO DETAIL	PW	4-1-88

59



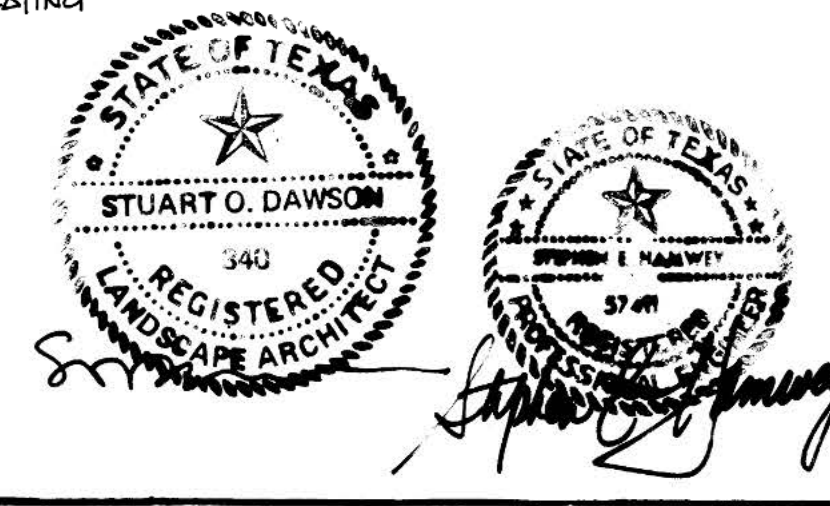
DALLAS ARTS DISTRICT						
CONCERT LIGHTS						
Pavement Details						
CITY OF DALLAS, TEXAS						
DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
RT/AL	4H/NL	7-17-87	AS NOTED		3110	3133



PEARL ST. SIDEWALK
N.T.S.

CROCKETT ST. SIDEWALK
N.T.S.

PLAN REVISION			
NO.	DESCRIPTION	BY	DATE
2	REVISED DETAIL NO. 6 - PEARL ST. SIDEWALK AS SHOWN ON THIS PLAN. CALLING OUT NOTE ON SHEET 51.	AG	2-6-88
3	REV. DETAIL 6	PW	4-1-88



DALLAS ARTS DISTRICT
CONCERT LIGHTS
Pavement Details

CITY OF DALLAS, TEXAS

DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
RT/NA	PW	7/7/87	AS NOTED		311D	3133