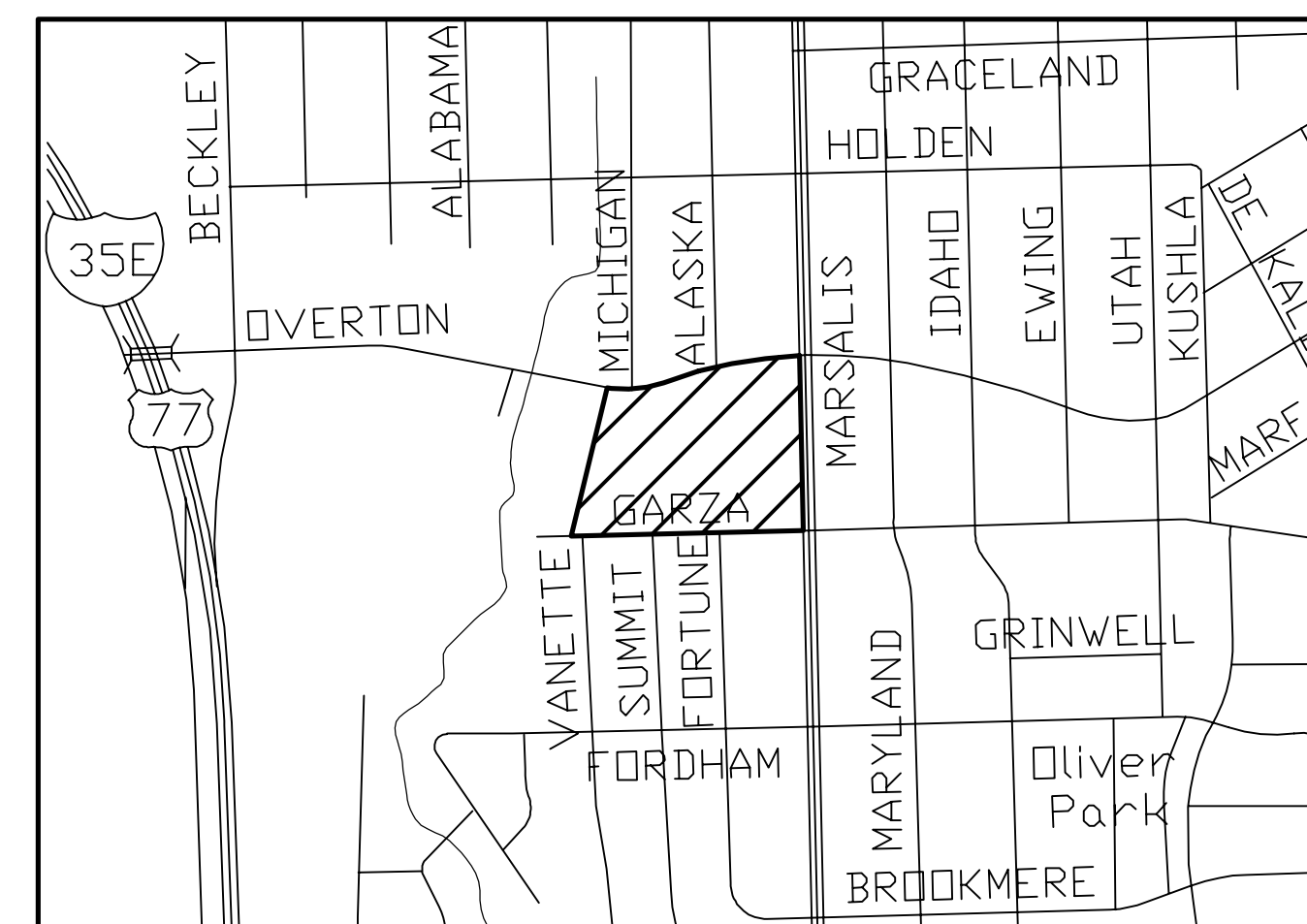


# CONSTRUCTION PLANS TO SERVE SOUTH OAK CLIFF HIGH SCHOOL 3601 MARSALIS AVENUE CITY OF DALLAS CITY BLOCK 14/6000, 15/6000 & 16/6000 DALLAS COUNTY, TEXAS



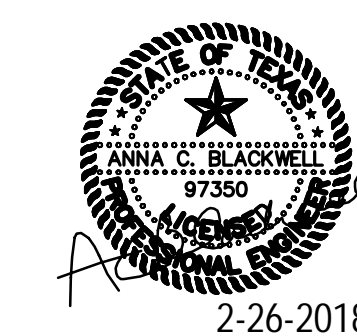
VICINITY MAP  
(NOT TO SCALE)

### SHEET INDEX

SHEET NO.	DESCRIPTION
C0.00	COVER SHEET
C0.01	FINAL PLAT
C0.01	GENERAL NOTES
C1.01	DEMOLITION PLAN
C1.02	DEMOLITION PLAN
C2.01	PAVING PLAN
C2.02	PAVING PLAN
C2.03	PAVING PLAN
C2.04	PAVING PLAN
C3.01	GRADING PLAN
C3.02	GRADING PLAN
C3.03	GRADING PLAN
C3.04	GRADING PLAN
C3.05	GRADING PLAN
C3.06	EXISTING DRAINAGE AREA MAP
C3.07	PROPOSED DRAINAGE AREA MAP
C4.01	UTILITY & STORM DRAIN PLAN
C4.02	UTILITY & STORM DRAIN PLAN
C5.01	EROSION CONTROL PLAN
C5.02	EROSION CONTROL PLAN
C6.01	SIGNAGE & PAVEMENT MARKING PLAN
C6.02	SIGNAGE & PAVEMENT MARKING PLAN
C7.01	PRIVATE DETAILS
C7.02	PRIVATE DETAILS
C8.00	CITY OF DALLAS DRIVE TURNOUT DETAIL
C8.01	CITY OF DALLAS BARRIER FREE RAMP DETAIL
C8.02	TxDOT RETAINING WALL DETAIL RW 1(L)

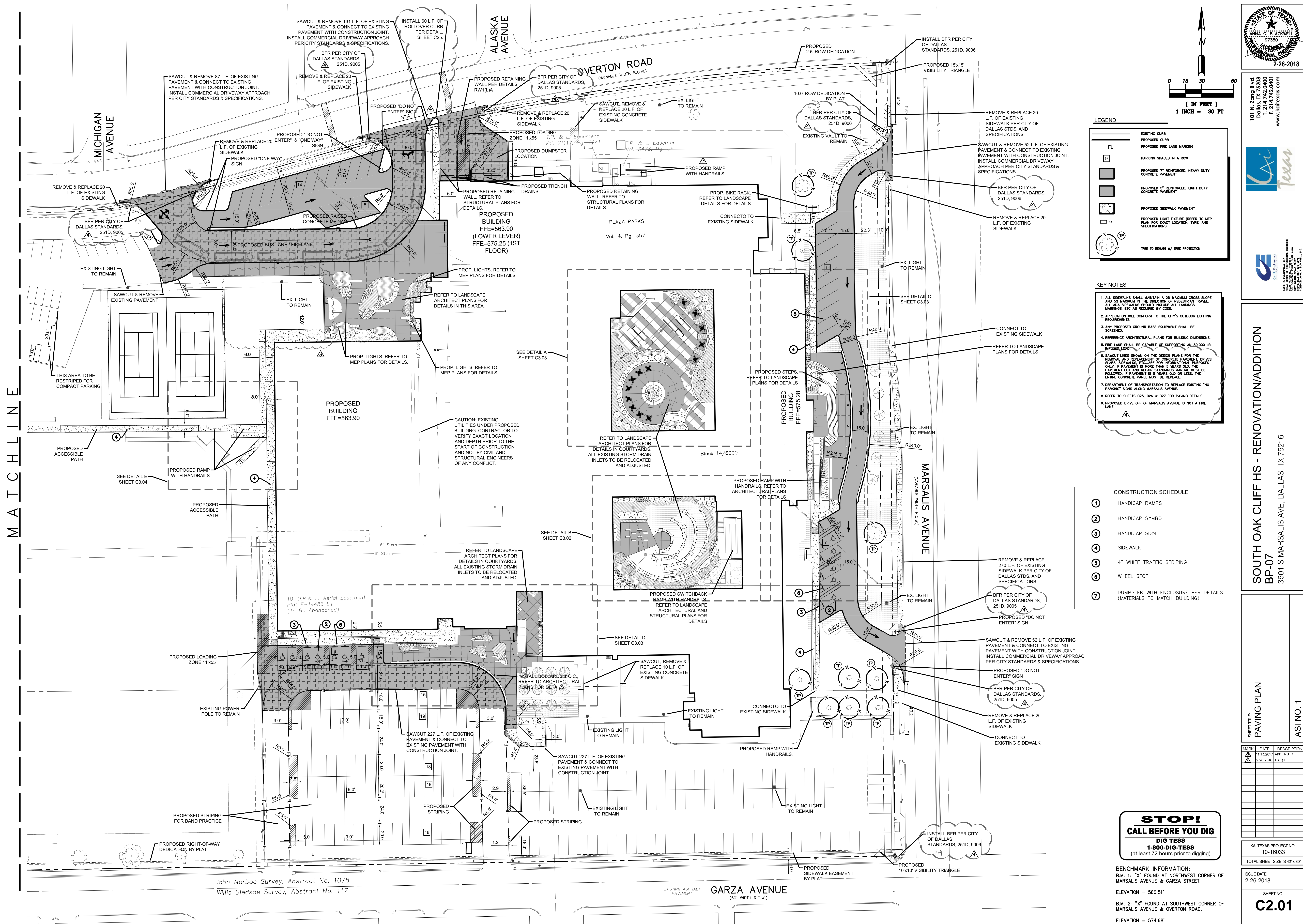
OWNED BY:  
DALLAS INDEPENDENT SCHOOL DISTRICT  
4203 SOUTH LANCASTER ROAD  
DALLAS, TEXAS 75216

PREPARED BY:  
  
CARRILLO ENGINEERING, LLC  
TEXAS BOARD OF PROFESSIONAL ENGINEERS  
REGISTRATION NO. F-15893  
301 COMMERCE STREET, SUITE 1410  
FORT WORTH, TEXAS 76102  
PHONE NO.: 817-896-0976  
CONTACT: ANNA C BLACKWELL, P.E.



## FEBRUARY 2018





STATE OF TEXAS  
 ANNA C. BLACKWELL  
 97350  
 2-26-2018

101 N. Zang Blvd.  
 Dallas, TX 75208  
 F 214.742.0401  
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**TEAM**

Garza Architects, Inc.  
 101 N. Zang Blvd., Suite 1000  
 Dallas, TX 75208  
 Phone: 214.742.0401  
 www.garzaarchitects.com

**SOUTH OAK CLIFF HS - RENOVATION/ADDITION**  
 BP-07  
 3601 S MARSALIS AVE, DALLAS, TX 75216

SHEET TITLE:  
**PAVING PLAN**  
 ASINO.1

MARK	DATE	DESCRIPTION
▲	11.13.2017	ADD. NO. 1
▲	2.26.2018	AS #1

KAI TEXAS PROJECT NO.	10-16033
TOTAL SHEET SIZE IS	42" x 30"
ISSUE DATE	2-26-2018
SHEET NO.	<b>C2.01</b>

**LEGEND**

- EXISTING CURB
- PROPOSED CURB
- PROPOSED FIRE LANE MARKING
- PARKING SPACES IN A ROW
- PROPOSED 7" REINFORCED, HEAVY DUTY CONCRETE PAVEMENT
- PROPOSED 6" REINFORCED, LIGHT DUTY CONCRETE PAVEMENT
- PROPOSED SIDEWALK PAVEMENT
- PROPOSED LIGHT FIXTURE (REFER TO MEP PLAN FOR EXACT LOCATION, TYPE, AND SPECIFICATIONS)
- TREE TO REMAIN W/ TREE PROTECTION

- KEY NOTES**
- ALL SIDEWALKS SHALL MAINTAIN A 2% MAXIMUM CROSS SLOPE AND 2% MAXIMUM IN THE DIRECTION OF PEDESTRIAN TRAVEL. ALL ADA SIDEWALKS SHOULD INCLUDE ALL LANDINGS, MARKINGS, ETC AS REQUIRED BY CODE.
  - APPLICATION WILL CONFORM TO THE CITY'S OUTDOOR LIGHTING REQUIREMENTS.
  - ANY PROPOSED GROUND BASE EQUIPMENT SHALL BE SCREENED.
  - REFERENCE ARCHITECTURAL PLANS FOR BUILDING DIMENSIONS.
  - FIRE LANE SHALL BE CAPABLE OF SUPPORTING AN 80,000 LB. IMPOSED LOAD.
  - SAWCUT LINES SHOWN ON THE DESIGN PLANS FOR THE REMOVAL AND REPLACEMENT OF CONCRETE PAVEMENT, DRIVES, SLABS, SIDEWALKS, ETC. ARE FOR INFORMATIONAL PURPOSES ONLY. IF PAVEMENT IS MORE THAN 5 YEARS OLD, THE PAVEMENT MUST BE REPAIRED PER STANDARD PRACTICE. IF PAVEMENT IS 5 YEARS OLD OR LESS, THE ENTIRE CONCRETE PANEL MUST BE REPLACED.
  - DEPARTMENT OF TRANSPORTATION TO REPLACE EXISTING "NO PARKING" SIGNS ALONG MARSALIS AVENUE.
  - REFER TO SHEETS C25, C26 & C27 FOR PAVING DETAILS.
  - PROPOSED DRIVE OFF OF MARSALIS AVENUE IS NOT A FIRE LANE.

**CONSTRUCTION SCHEDULE**

①	HANDICAP RAMPS
②	HANDICAP SYMBOL
③	HANDICAP SIGN
④	SIDEWALK
⑤	4" WHITE TRAFFIC STRIPING
⑥	WHEEL STOP
⑦	DUMPSTER WITH ENCLOSURE PER DETAILS (MATERIALS TO MATCH BUILDING)

**STOP!**  
**CALL BEFORE YOU DIG**  
 1-800-DIG-TESS  
 (at least 72 hours prior to digging)

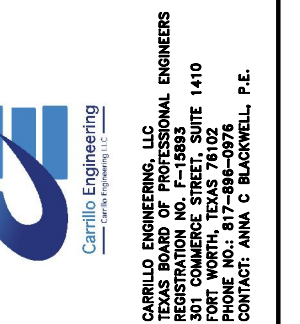
**BENCHMARK INFORMATION:**  
 B.M. 1: "X" FOUND AT NORTHWEST CORNER OF MARSALIS AVENUE & GARZA STREET.  
 ELEVATION = 560.51'  
 B.M. 2: "X" FOUND AT SOUTHWEST CORNER OF MARSALIS AVENUE & OVERTON ROAD.  
 ELEVATION = 574.68'

John Narboe Survey, Abstract No. 1078  
 Willis Bledsoe Survey, Abstract No. 117

**GARZA AVENUE**  
 (50' WIDTH R.O.W.)

EXISTING ASPHALT PAVEMENT





MARK	DATE	DESCRIPTION
▲	11.13.2017	ADD. NO. 1
▲	2.26.2018	ASD #1

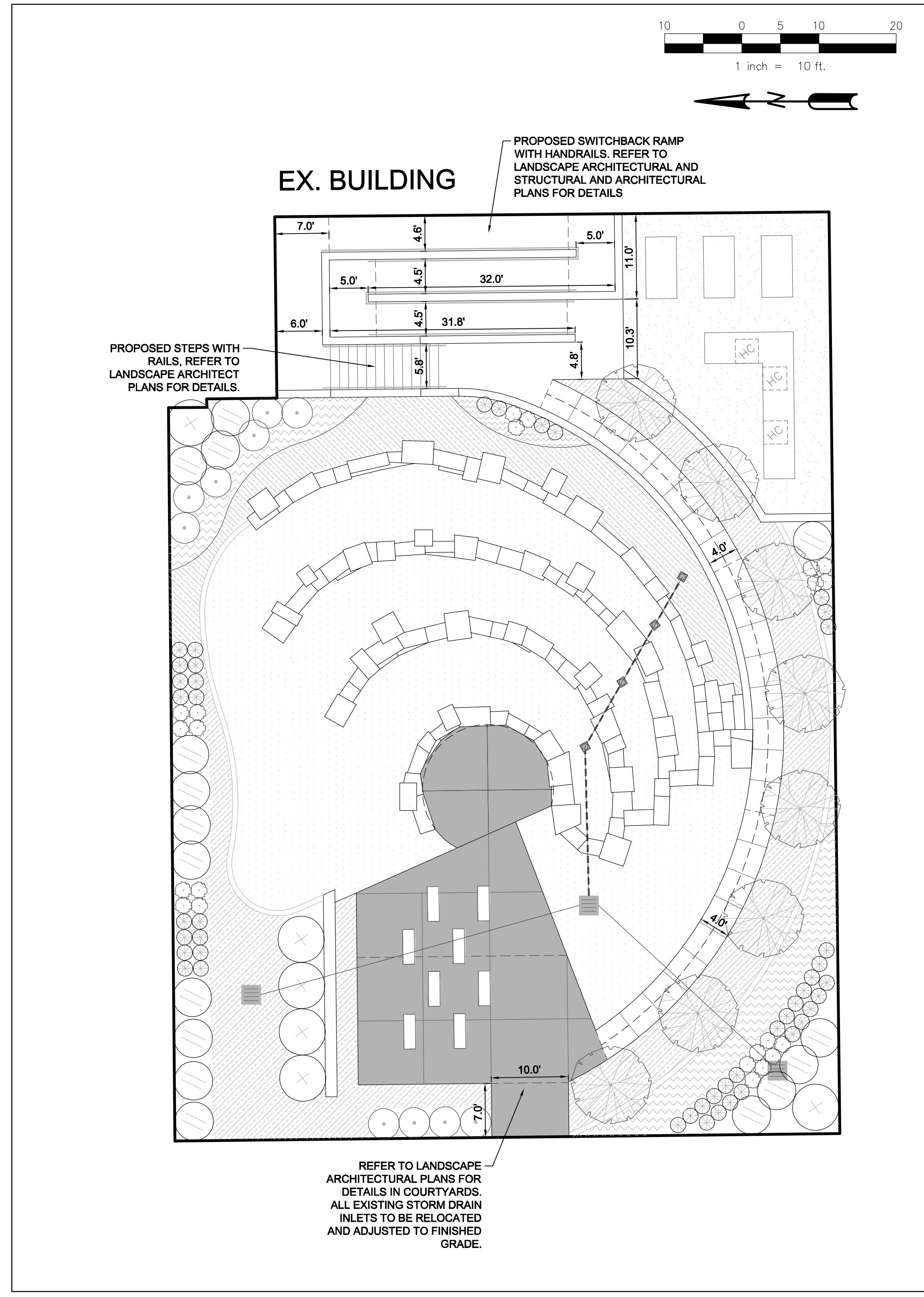
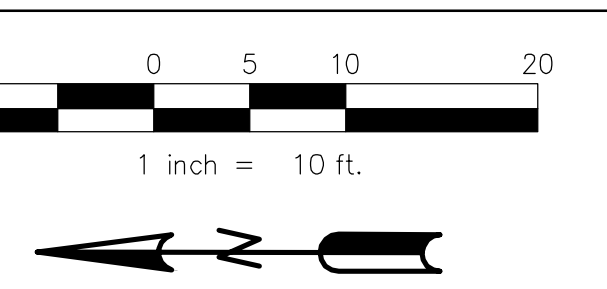
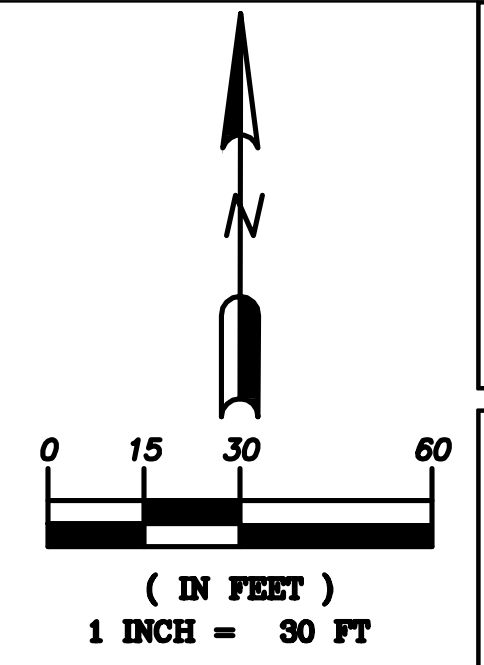
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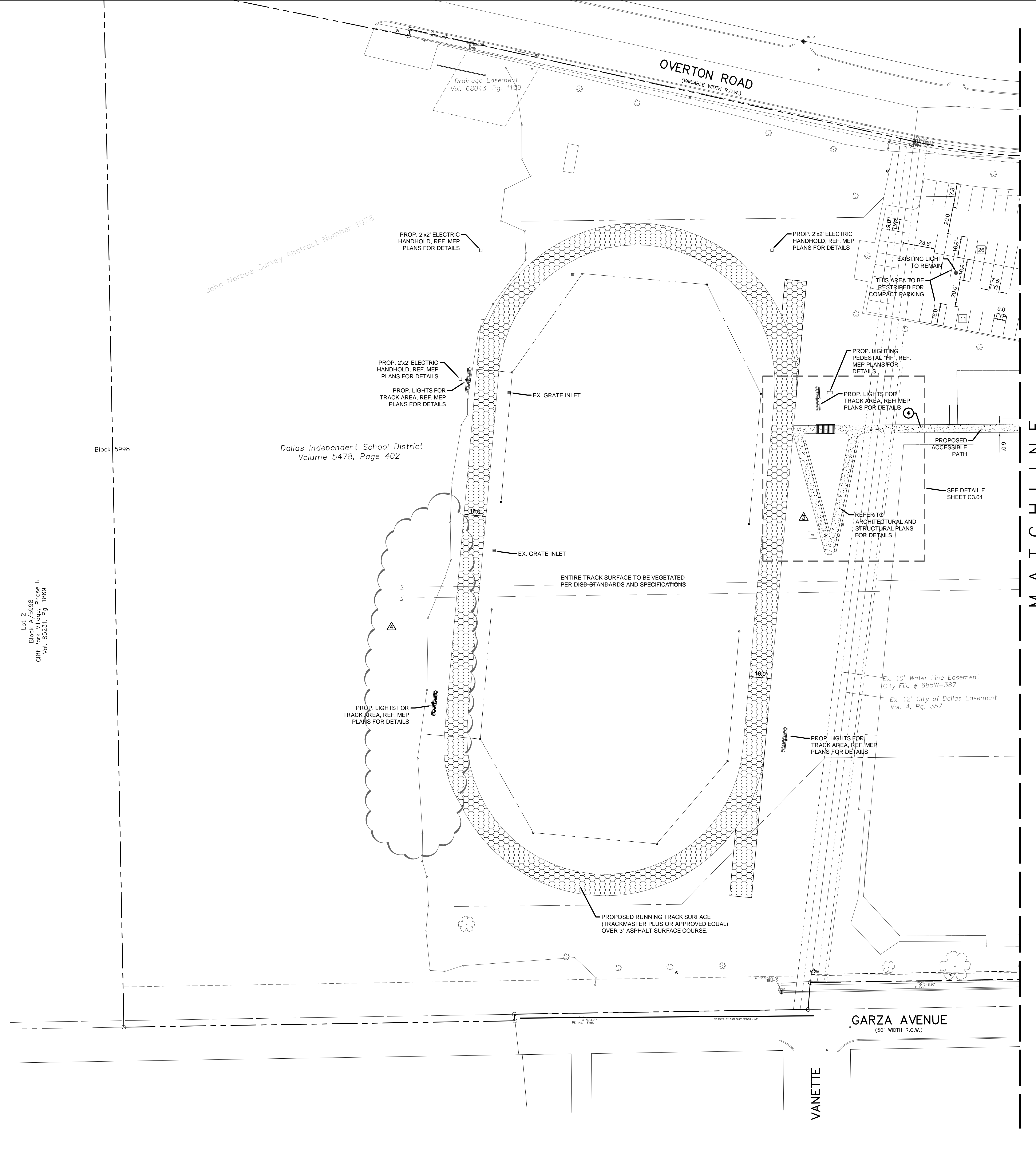
- KEY NOTES
- ALL SIDEWALKS SHALL MAINTAIN A 2% MAXIMUM CROSS SLOPE AND 0% MAXIMUM IN THE DIRECTION OF PEDESTRIAN TRAVEL. ALL ADA SIDEWALKS SHOULD INCLUDE ALL LANDINGS, MARKINGS, ETC AS REQUIRED BY CODE.
  - APPLICATION WILL CONFORM TO THE CITY'S OUTDOOR LIGHTING REQUIREMENTS.
  - ANY PROPOSED GROUND BASE EQUIPMENT SHALL BE SCREENED.
  - REFERENCE ARCHITECTURAL PLANS FOR BUILDING DIMENSIONS.
  - FIRE LANE SHALL BE CAPABLE OF SUPPORTING AN 80,000 LB. IMPOSED LOAD.
  - THE SANITATION CONTAINER SCREENING WALLS SHALL BE BRICK MASONRY, STONE MASONRY, OR OTHER ARCHITECTURAL MASONRY FINISH, INCLUDING A METAL GATE, PRIMED AND PAINTED, AND THE SANITATION CONTAINER SCREENING WALLS, GATE, AND PAD SITE SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY DESIGN SPECIFICATIONS.
  - MECHANICAL AND HEATING AND AIR CONDITIONING EQUIPMENT IN NON-RESIDENTIAL USES SHALL BE SCREENED FROM VIEW OF PUBLIC RIGHT-OF-WAY AND FROM ADJACENT RESIDENTIAL PROPERTIES.

LEGEND

EXISTING CURB
PROPOSED CURB
PROPOSED FIRE LANE MARKING
PARKING SPACES IN A ROW
PROPOSED 7" REINFORCED, HEAVY DUTY CONCRETE PAVEMENT
PROPOSED 2" REINFORCED, LIGHT DUTY CONCRETE PAVEMENT
PROPOSED SIDEWALK PAVEMENT
PROPOSED LIGHT FIXTURE (REFER TO MEP PLAN FOR EXACT LOCATION, TYPE, AND SPECIFICATIONS)
TREE TO REMAIN W/ TREE PROTECTION



DETAIL B



John Narboe Survey Abstract Number 1078

Dallas Independent School District  
Volume 5478, Page 402

Block 5998

Lot 2  
Block 2698  
Cliff Park Village, Phase II  
Vol. 85231, Pg. 1869

Drainage Easement  
Vol. 68043, Pg. 1139

Ex. 10' Water Line Easement  
City File # 685W-387  
Ex. 12' City of Dallas Easement  
Vol. 4, Pg. 357

M A T C H L I N E

VANETTE



MATCHLINE

MICHIGAN

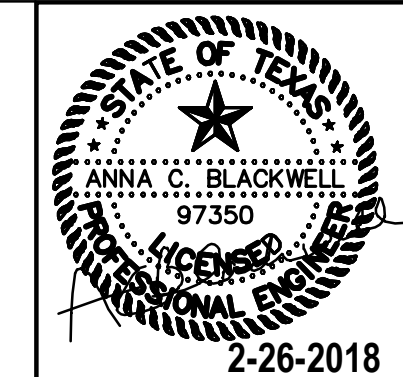
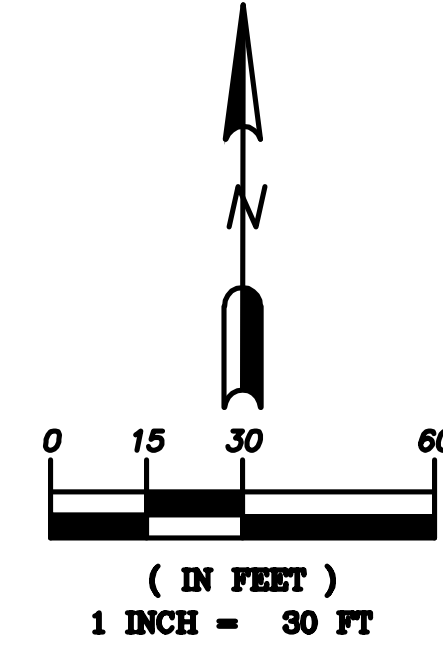
ALASKA

OVERTON ROAD  
(VARIABLE WIDTH R.O.W.)

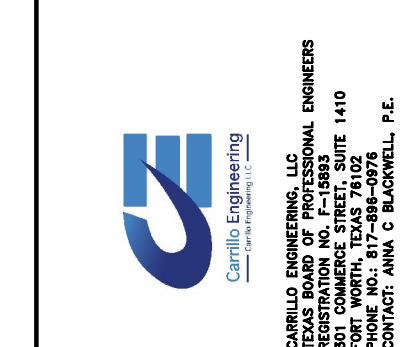
MARSALIS AVENUE  
(VARIABLE WIDTH R.O.W.)

GARZA AVENUE  
(50' WIDTH R.O.W.)

John Narboe Survey, Abstract No. 1078  
Willis Bledsoe Survey, Abstract No. 117



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LEGEND

	PROPOSED SWALE
	DIRECTION OF FLOW
	EXISTING CONTOUR
	PROPOSED CONTOUR
	TOP OF GROUND OR PROPOSED GRADE
	FINISHED FLOOR
	TOP OF CURB
	MATCH EXISTING
	TOP OF WALL
	BOTTOM OF WALL
	TOP OF RAMP

NOTES

1. ALL SPOT ELEVATIONS ARE TO TOP OF PAVING UNLESS OTHERWISE NOTED.
2. EXISTING UTILITIES WERE OBTAINED FROM RECORD DRAWINGS. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF EXISTING UTILITIES AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES WITH THIS PLAN.
3. MAXIMUM SLOPE IN LANDSCAPE AREAS ARE NOT TO EXCEED 4:1.
4. ALL CURB HEIGHTS ARE 8-INCHES UNLESS NOTED OTHERWISE.
5. REFER TO GEOTECHNICAL REPORT FOR REQUIREMENTS REGARDING FILL COMPACTION AND MOISTURE CONTENT.
6. REF. STRUCTURAL PLANS, SPECIFICATIONS, AND GEOTECHNICAL REPORT FOR ALL BUILDING PAD PREPARATION CRITERIA.
7. THE CONTRACTOR SHALL CONSTRUCT ALL BARRIER FREE RAMPS PER CITY OF DALLAS AND ADA STANDARDS.
8. GRADING FOR ALL SIDEWALKS AND ACCESSIBLE ROUTES INCLUDING CROSSING DRIVEWAYS SHALL CONFORM TO ADA STANDARDS. SLOPES SHALL NOT EXCEED 5% LONGITUDINAL SLOPE OR 2% CROSS SLOPE. SIDEWALKS ACCESS TO EXTERNAL BUILDING DOORS SHALL BE ADA COMPLIANT. CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY IF ADA CRITERIA CANNOT BE MET AT ANY LOCATION.
9. GRADING OF ALL HANDICAPPED SPACES AND ROUTES ARE TO CONFORM TO LOCAL, STATE, AND FEDERAL GUIDELINES.
10. CONTRACTOR SHALL ADJUST EXISTING VALVES, MANHOLE RIMS, ETC. AS NECESSARY TO MATCH FINISHED GRADE.

SOUTH OAK CLIFF HS - RENOVATION/ADDITION  
BP-07  
3601 S MARSALIS AVE, DALLAS, TX 75216

GRADING PLAN  
ASINO.1

MARK	DATE	DESCRIPTION
A	2.26.2018	AS #1

KAI TEXAS PROJECT NO.  
10-16033

TOTAL SHEET SIZE IS 42"x36"

ISSUE DATE  
2-26-2018

SHEET NO.  
**C3.01**

**STOP!**  
**CALL BEFORE YOU DIG**  
**DIG TESS**  
**1-800-DIG-TESS**  
(at least 72 hours prior to digging)

BENCHMARK INFORMATION:  
B.M. 1: "X" FOUND AT NORTHWEST CORNER OF MARSALIS AVENUE & GARZA STREET.  
ELEVATION = 560.51'

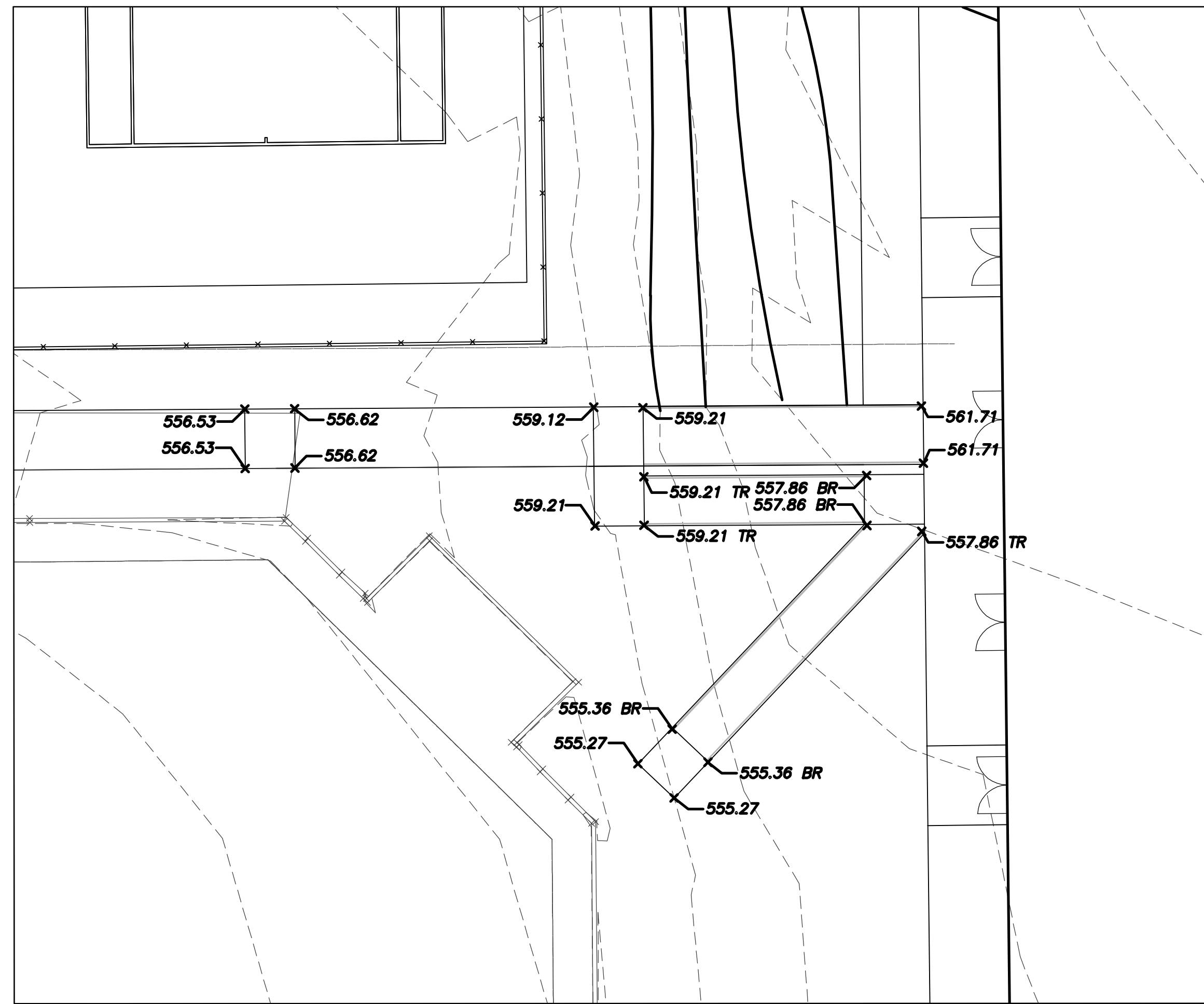
B.M. 2: "X" FOUND AT SOUTHWEST CORNER OF MARSALIS AVENUE & OVERTON ROAD.  
ELEVATION = 574.68'

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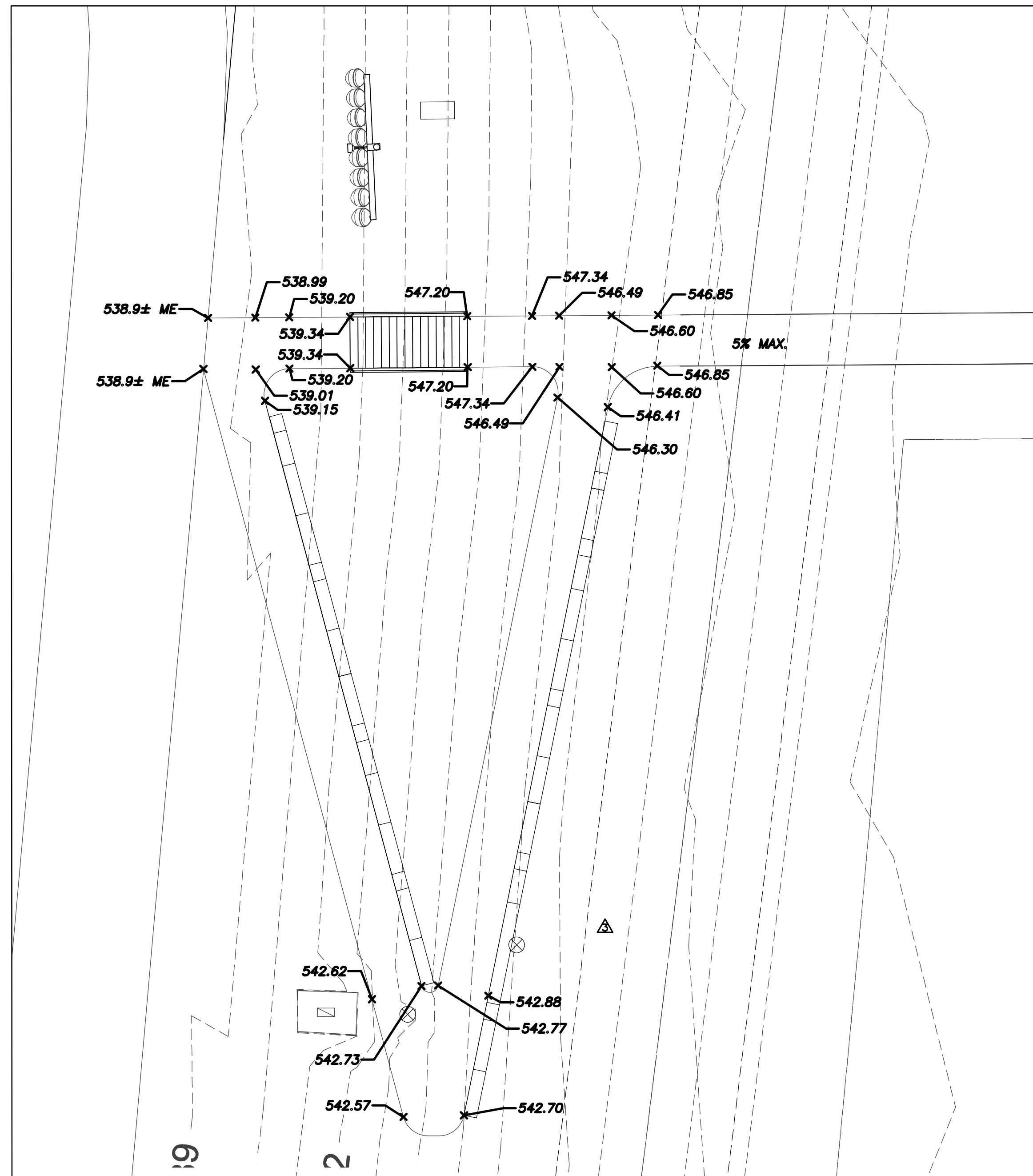




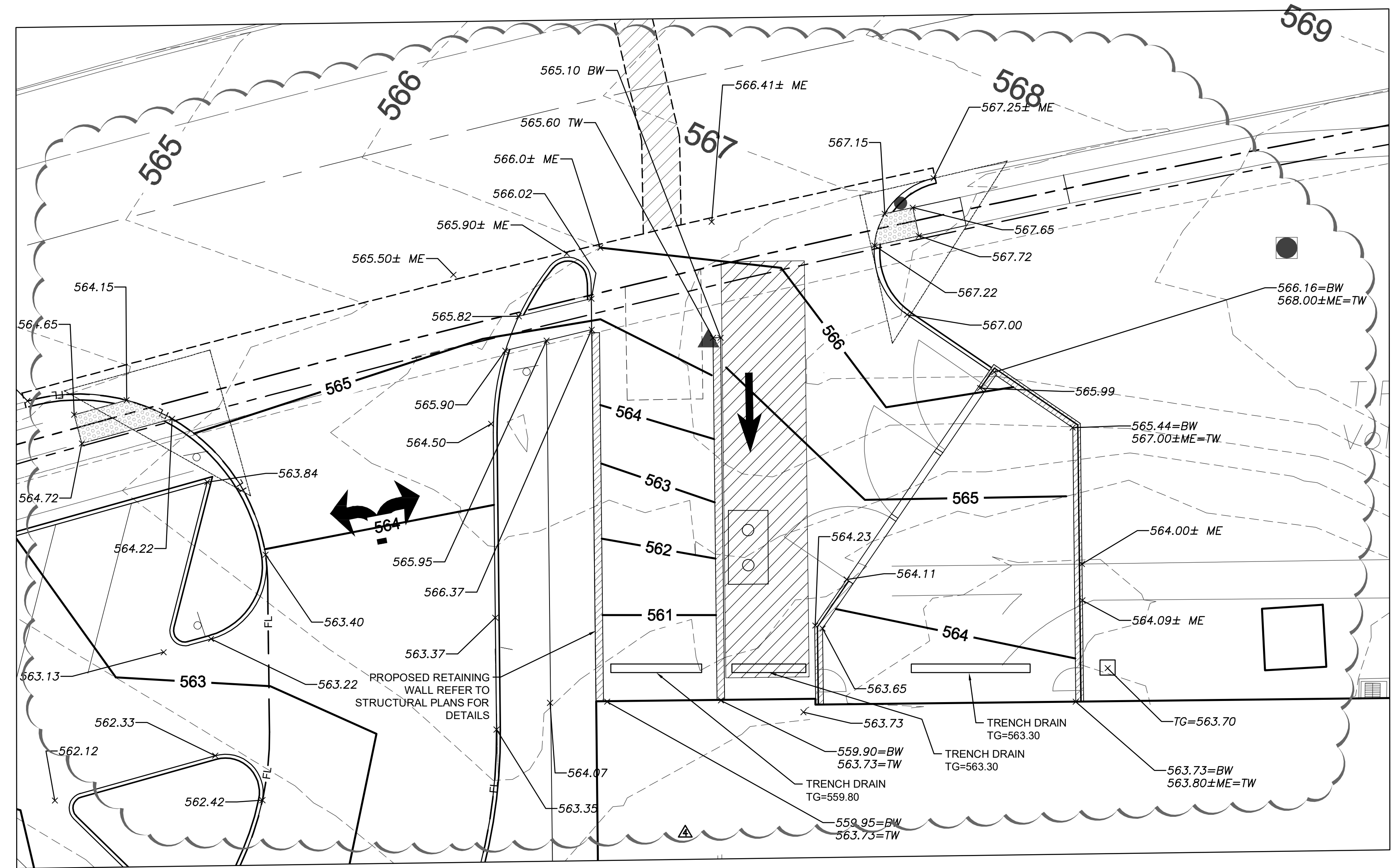




DETAIL E



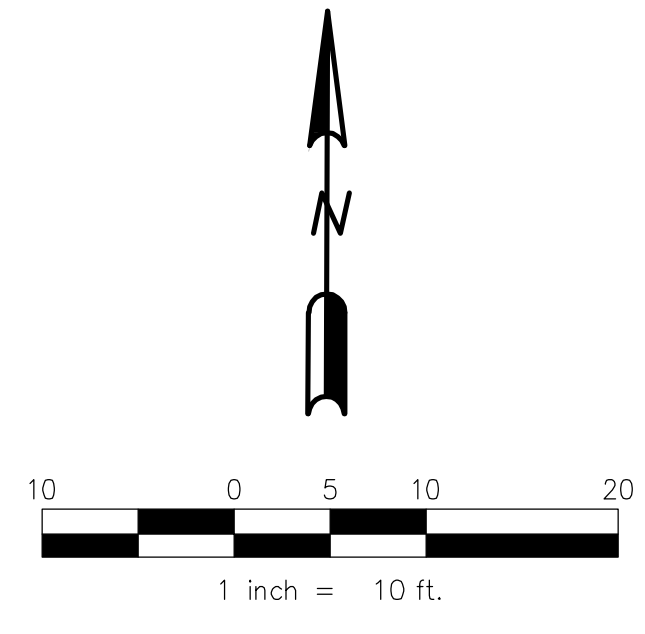
DETAIL F



DETAIL G

**LEGEND**

- PROPOSED SWALE
- DIRECTION OF FLOW
- EXISTING CONTOUR
- PROPOSED CONTOUR
- TOP OF GROUND OR PROPOSED GRADE
- FFE FINISHED FLOOR
- TC TOP OF CURB
- ME MATCH EXISTING
- TW TOP OF WALL
- BW BOTTOM OF WALL
- TR TOP OF RAMP



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Dallas, TX 75208  
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www.katlex.com



SOUTH OAK CLIFF HS - RENOVATION/ADDITION  
BP-07  
3601 S MARSALIS AVE, DALLAS, TX 75216

SHEET TITLE:  
GRADING PLAN  
ASINO. 1

MARK	DATE	DESCRIPTION
▲	11.13.2017	ADD. NO. 1
▲	2.26.2018	ASR #1

KAT TEXAS PROJECT NO.  
10-16033  
TOTAL SHEET SIZE IS 42"x30"

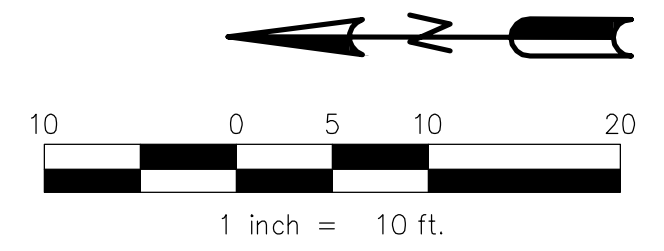
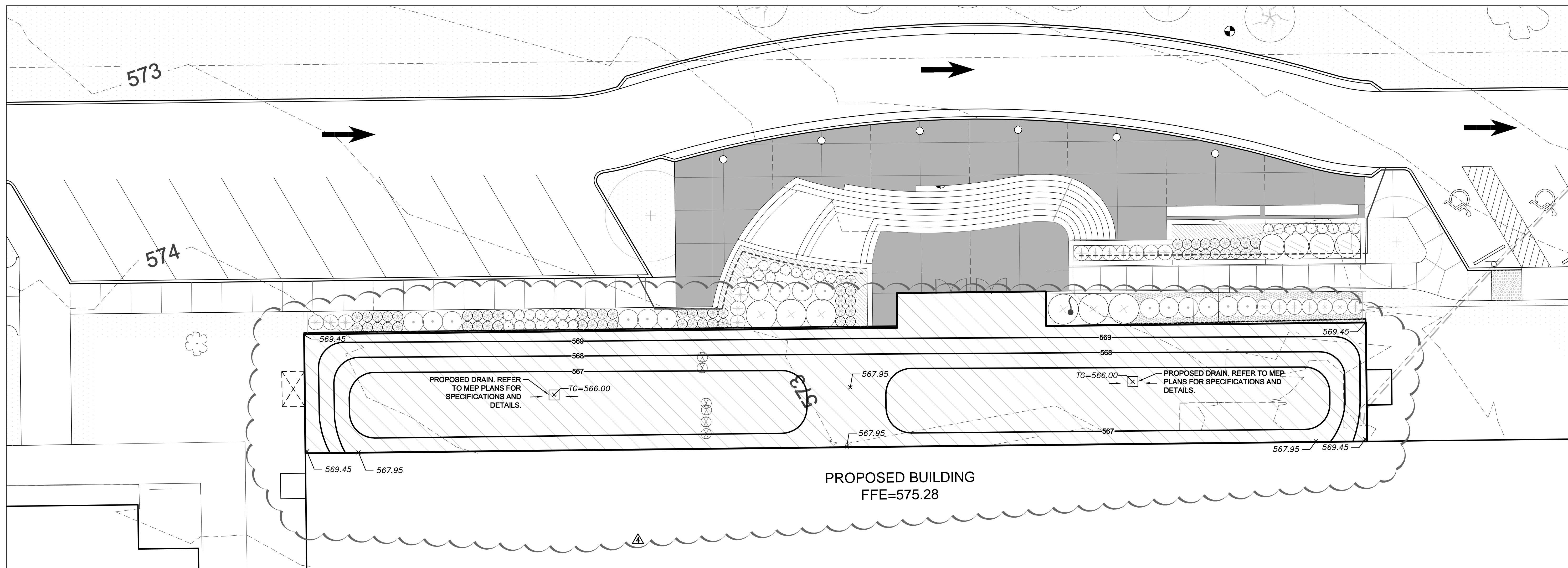
ISSUE DATE  
2-26-2018

SHEET NO.  
**C3.04**

**STOP!**  
**CALL BEFORE YOU DIG**  
DIG TESS  
1-800-DIG-TESS  
(at least 72 hours prior to digging)

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ELEVATION = 574.68'



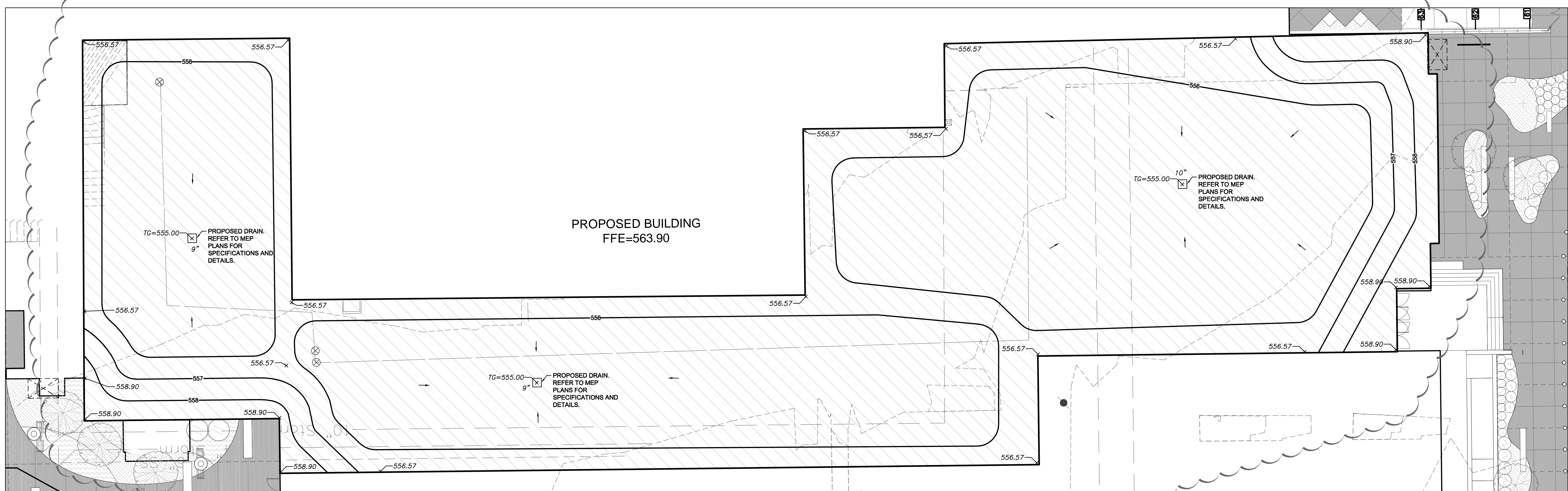


**LEGEND**

	PROPOSED SWALE
	DIRECTION OF FLOW
	EXISTING CONTOUR
	PROPOSED CONTOUR
	TOP OF GROUND OR PROPOSED GRADE
	FFE FINISHED FLOOR
	TC TOP OF CURB
	ME MATCH EXISTING
	TW TOP OF WALL
	BW BOTTOM OF WALL
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**NOTES:**

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2. EXISTING UTILITIES WERE OBTAINED FROM RECORD DRAWINGS. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF EXISTING UTILITIES AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES WITH THIS PLAN.
3. MAXIMUM SLOPE IN LANDSCAPE AREAS ARE NOT TO EXCEED 4:1.
4. ALL CURB HEIGHTS ARE 6-INCHES UNLESS NOTED OTHERWISE.
5. REFER TO GEOTECHNICAL REPORT FOR REQUIREMENTS REGARDING FILL COMPACTION AND MOISTURE CONTENT.
6. REF. STRUCTURAL PLANS, SPECIFICATIONS, AND GEOTECHNICAL REPORT FOR ALL BUILDING PAD PREPARATION CRITERIA.
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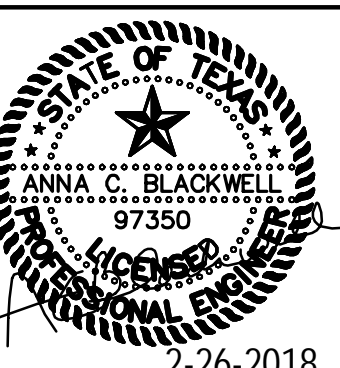
**STOP!**  
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ELEVATION = 574.68'



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**SOUTH OAK CLIFF HS - RENOVATION/ADDITION**  
BP-07  
3601 S MARSALIS AVE, DALLAS, TX 75216

SHEET TITLE:  
CRAWL SPACE GRADING PLAN  
ASINO.1

MARK	DATE	DESCRIPTION
A	2.26.2018	AS #1

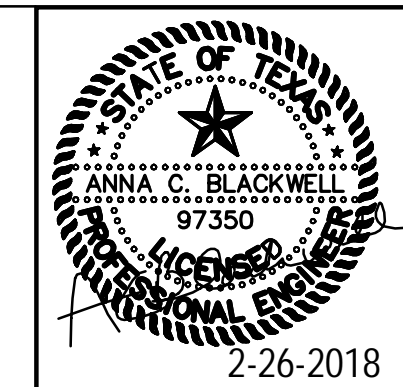
KAI TEXAS PROJECT NO.  
10-16033

TOTAL SHEET SIZE IS 42" x 30"

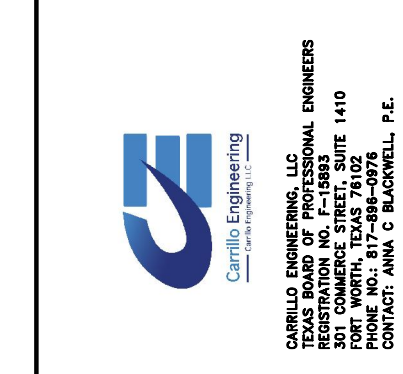
ISSUE DATE  
2-26-2018

SHEET NO.  
**C3.05**



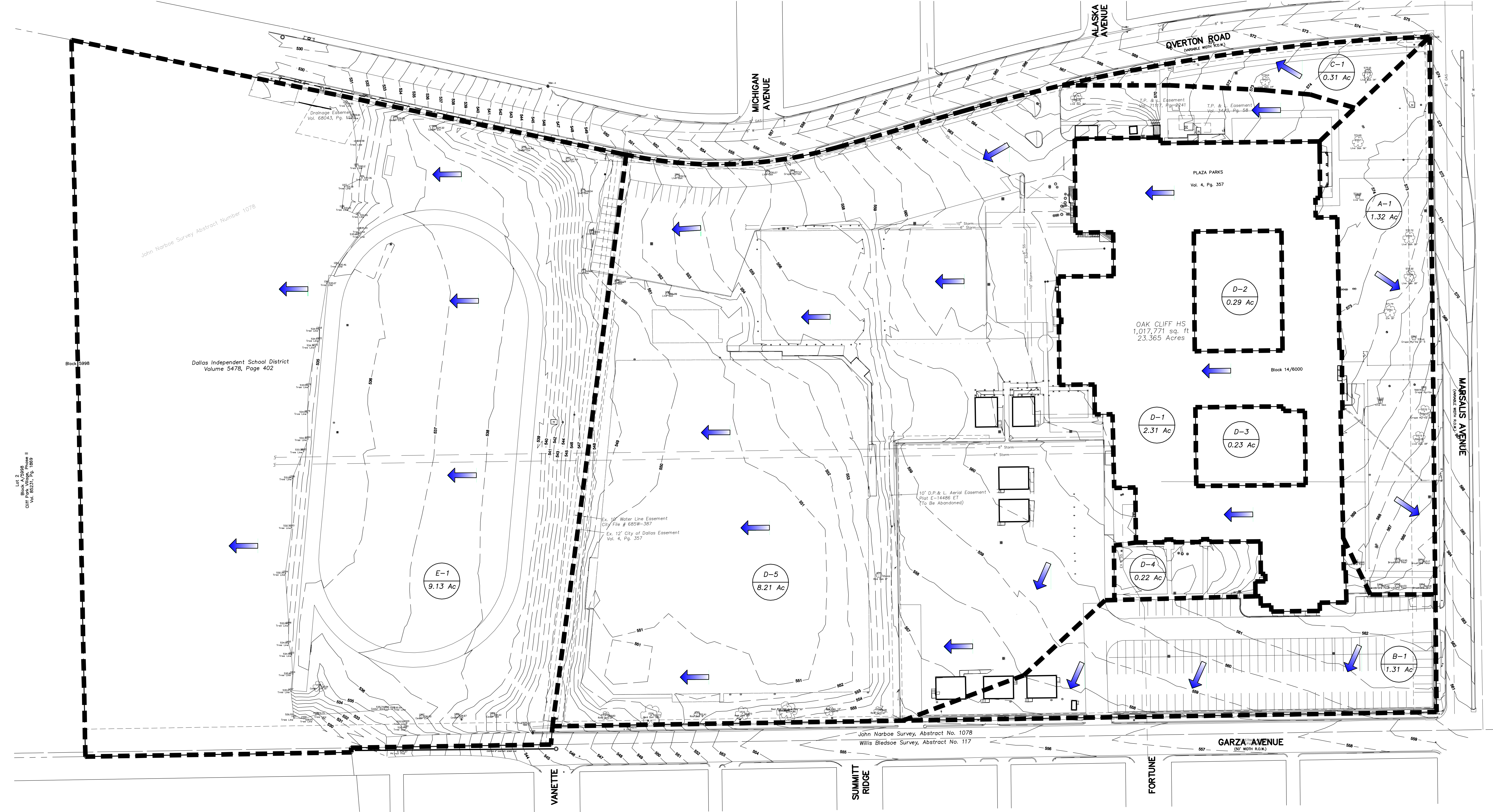
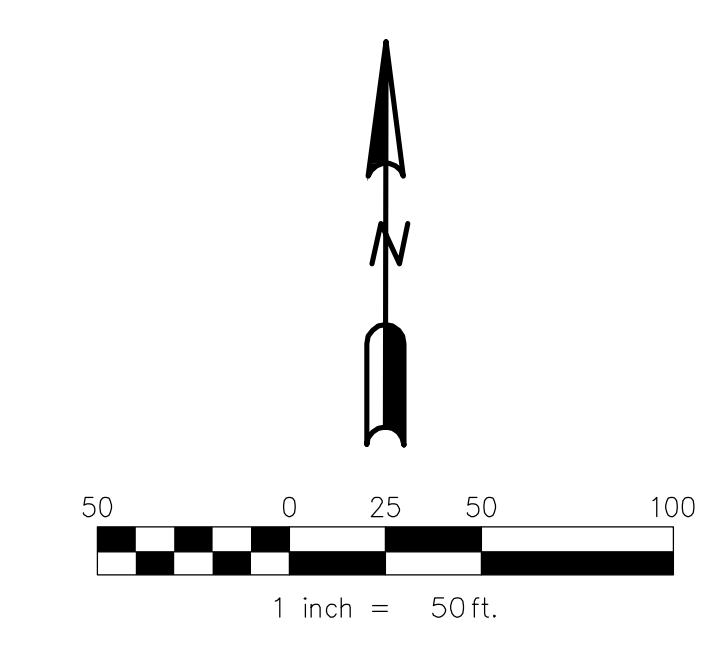


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**SOUTH OAK CLIFF HS - RENOVATION/ADDITION**  
BP-07  
3601 S MARSALIS AVE, DALLAS, TX 75216

**EXISTING DRAINAGE AREA MAP**  
ASI NO. 1



**Drainage Area Calculations- (in accordance with City of Dallas Drainage Manual)**

**Existing Conditions**

Drainage Area	Area (Ac)	Runoff Coefficient C	Minimum Inlet Time (min)	5-Year Intensity (in/hr)	100-Year Intensity (in/hr)	5-Year Flow (cfs)	100-Year Flow (cfs)	Description
A-1	1.32	0.70	10.00	5.88	8.88	5.43	8.21	Sheet flows to Marsalis Avenue
B-1	1.31	0.75	10.00	5.88	8.88	5.78	8.72	Sheet flows to Garza Drive
C-1	0.31	0.70	10.00	5.88	8.88	1.28	1.93	Sheet flows to Qwerton Road
D-1	2.31	0.70	10.00	5.88	8.88	9.51	14.36	Sheet flows to Existing Creek to the West
D-2	0.29	0.70	10.00	5.88	8.88	1.19	1.80	Drains to Existing Inlets
D-3	0.23	0.70	10.00	5.88	8.88	0.95	1.43	Drains to Existing Inlets
D-4	0.22	0.70	10.00	5.88	8.88	0.91	1.37	Sheet flows to Area B-1 then to Garza Avenue
D-5	8.21	0.70	10.00	5.88	8.88	33.79	51.03	Sheet flows to Existing Creek to the West
E-1	9.13	0.70	10.00	5.88	8.88	56.75	87.58	Sheet flows to Existing Creek to the West
<b>TOTAL</b>	<b>23.33</b>						<b>145.60</b>	

**LEGEND**

- DRAINAGE AREA LABELS
- DIRECTION OF FLOW
- DRAINAGE AREA BOUNDARY
- EXISTING CONTOURS



**STOP! CALL BEFORE YOU DIG**  
DIG TESS  
1-800-DIG-TESS  
(at least 72 hours prior to digging)

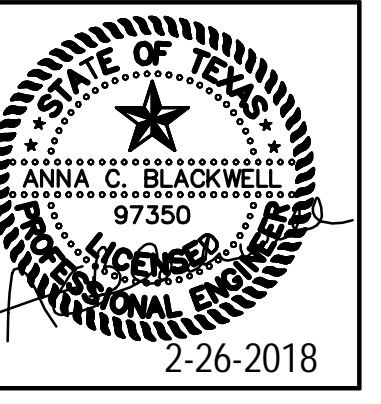
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ELEVATION = 574.68'

MARK	DATE	DESCRIPTION
A	2.26.2018	ASI #1

KAI TEXAS PROJECT NO. 10-16033  
TOTAL SHEET SIZE IS 42"x38"

ISSUE DATE 2-26-2018  
SHEET NO. C3.06





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**SOUTH OAK CLIFF HS - RENOVATION/ADDITION**  
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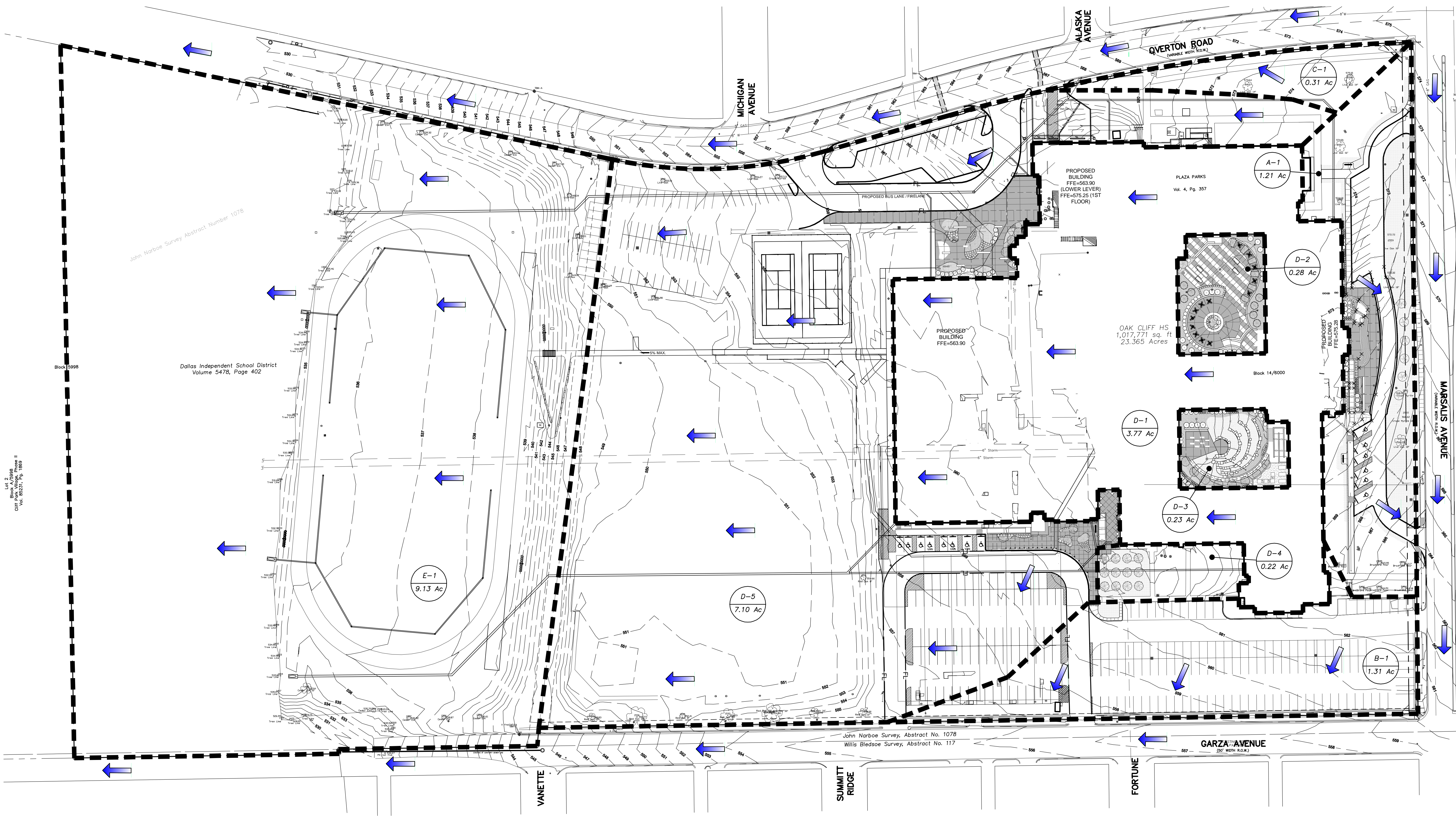
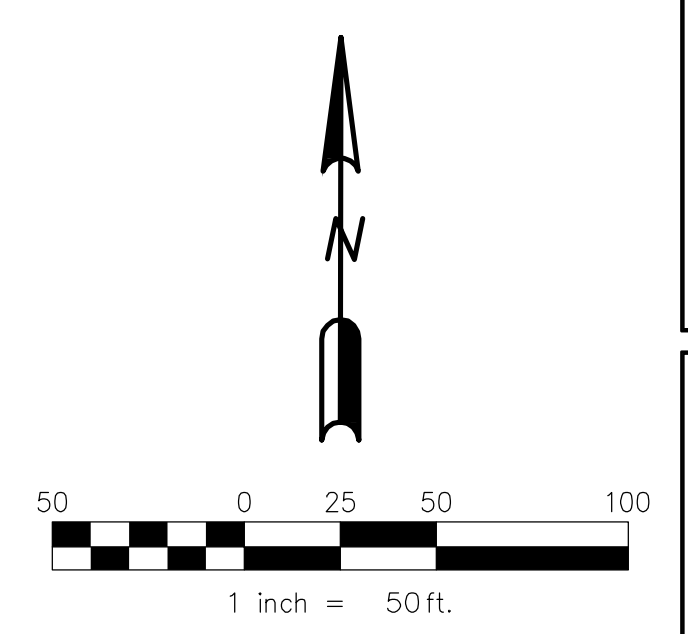
SHEET TITLE:  
**PROPOSED DRAINAGE AREA MAP**  
ASIN NO. 1

MARK	DATE	DESCRIPTION
A	2.26.2018	AS #1

KAI TEXAS PROJECT NO.  
10-16033  
TOTAL SHEET SIZE IS 42" x 30"

ISSUE DATE  
2-26-2018

SHEET NO.  
**C3.07**

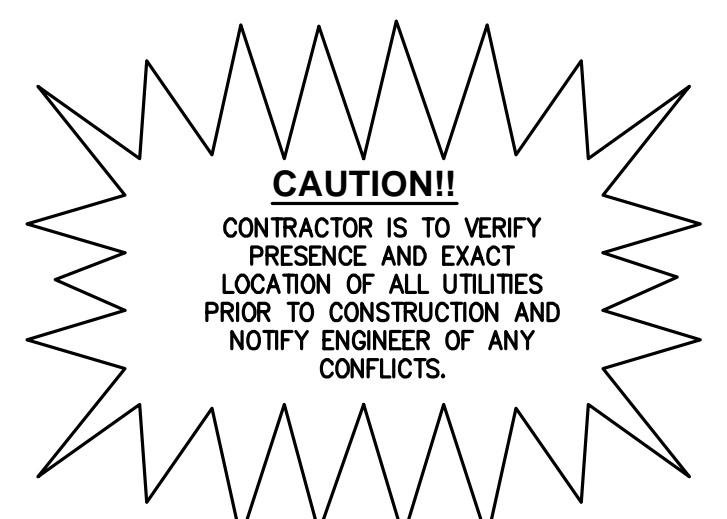


**Drainage Area Calculations- (in accordance with City of Dallas Drainage Manual)**  
**Proposed Conditions**

Drainage Area	Area (Ac)	Runoff Coefficient C	Minimum Inlet Time (min)	5-Year Intensity (in/hr)	100-Year Intensity (in/hr)	5-Year Flow (cfs)	100-Year Flow (cfs)	Description
A-1	1.21	0.70	10.00	5.88	8.88	4.98	7.52	Sheet flows to Marsalis Avenue
B-1	1.31	0.70	10.00	5.88	8.88	5.39	8.14	Sheet flows to Garza Avenue
C-1	0.31	0.70	10.00	5.88	8.88	1.28	1.93	Sheet flows to Overton Road
D-1	3.77	0.70	10.00	5.88	8.88	15.52	23.43	Building Drains to Roof Drains then to Existing Creek to West
D-2	0.28	0.70	10.00	5.88	8.88	1.15	1.74	Drains to Existing Inlets
D-3	0.23	0.70	10.00	5.88	8.88	0.95	1.43	Drains to Existing Inlets
D-4	0.22	0.70	10.00	5.88	8.88	0.91	1.37	Sheet flows to Area B-1 then to Garza Avenue
D-5	7.10	0.70	10.00	5.88	8.88	29.22	44.13	Sheet flows to Existing Creek to the West
E-1	9.13	0.70	10.00	5.88	8.88	37.58	56.75	Sheet flows to Existing Creek to the West
<b>TOTAL</b>	<b>23.56</b>						<b>146.45</b>	

**LEGEND**

- A-X  
X XX Ac DRAINAGE AREA LABELS
- DIRECTION OF FLOW
- DRAINAGE AREA BOUNDARY
- EXISTING CONTOURS
- PROPOSED CONTOURS



**STOP!**  
**CALL BEFORE YOU DIG**  
DIG TESS  
1-800-DIG-TESS  
(at least 72 hours prior to digging)

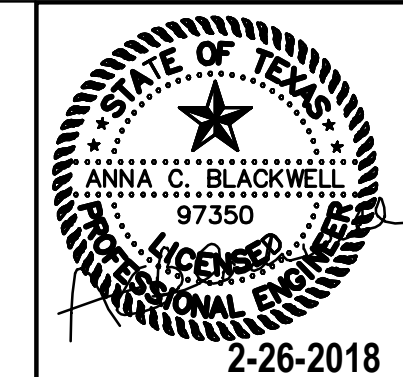
BENCHMARK INFORMATION:  
B.M. 1: "X" FOUND AT NORTHWEST CORNER OF MARSALIS AVENUE & GARZA STREET.  
ELEVATION = 560.51'  
B.M. 2: "X" FOUND AT SOUTHWEST CORNER OF MARSALIS AVENUE & OVERTON ROAD.  
ELEVATION = 574.68'

Lot 2  
Block 5998  
City of Dallas, Texas  
Vol. 88237, Pg. 1089

John Narboe Survey Abstract Number 1078  
Dallas Independent School District  
Volume 5478, Page 402

John Narboe Survey, Abstract No. 1078  
Willis Bledsoe Survey, Abstract No. 117





101 N. Zang Blvd.  
Dallas, TX 75208  
P: 214.242.0400  
www.katitexas.com



**SOUTH OAK CLIFF HS - RENOVATION/ADDITION**  
BP-07  
3601 S MARSALIS AVE, DALLAS, TX 75216

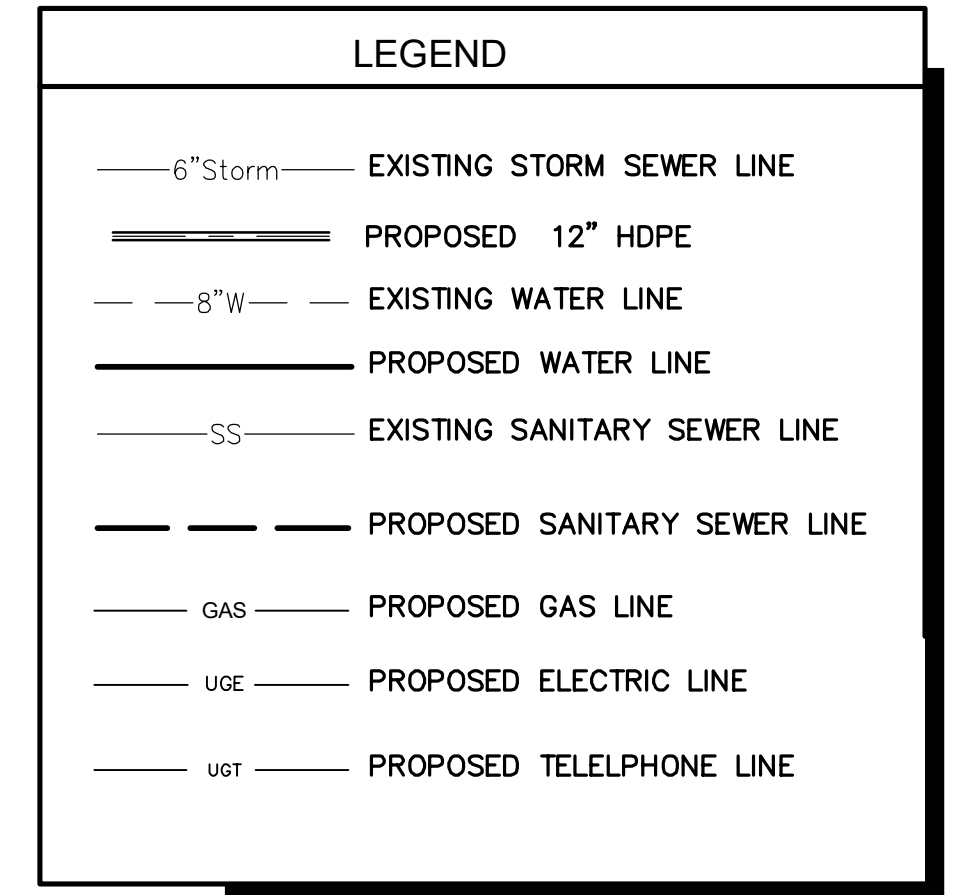
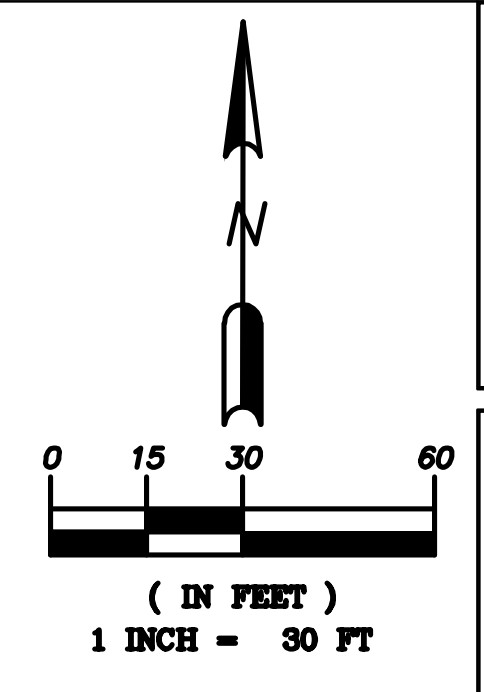
SHEET TITLE:  
**UTILITY & STORM DRAIN PLAN**  
ASINO. 1

MARK	DATE	DESCRIPTION
A	2.26.2018	AS #1

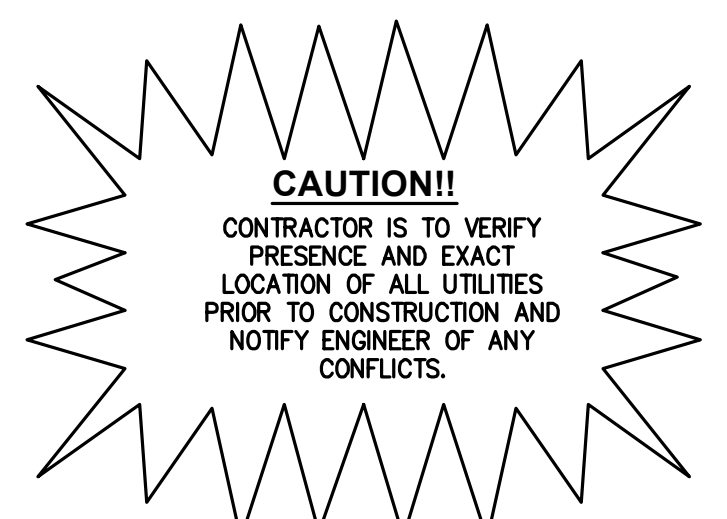
KAI TEXAS PROJECT NO.  
10-16033  
TOTAL SHEET SIZE IS 42"x30"

ISSUE DATE  
2-26-2018  
SHEET NO.  
**C4.01**

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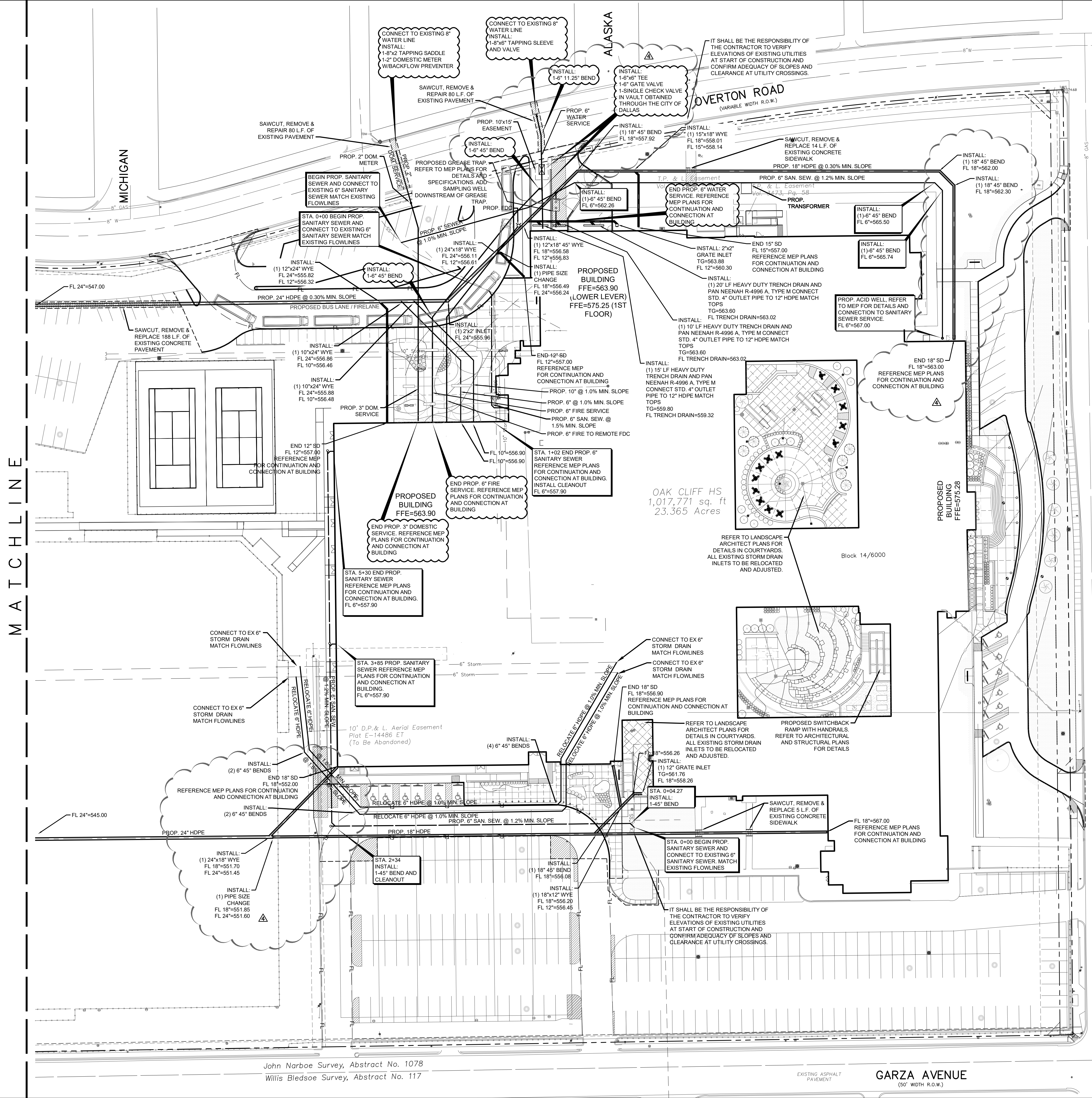


- NOTES:
- CONTRACTOR SHALL COORDINATE WITH FRANCHISE UTILITY COMPANIES AND IRRIGATION PLANS TO DETERMINE QUANTITY, SIZE, AND LOCATION FOR ALL CONDUIT AND SLEEVING REQUIRED TO SERVE BUILDING AND SITE. ALL CONDUIT AND SLEEVES SHALL BE INSTALLED PRIOR TO SUBGRADE PREPARATION AND PAVING.
  - CONTRACTOR TO VERIFY SIZE AND EXACT LOCATION OF EXISTING UTILITIES AS LIMITED INFORMATION AVAILABLE.
- FRANCHISE UTILITY NOTES:
- THE GAS, ELECTRIC, AND TELEPHONE INFORMATION SHOWN ON THIS PLAN IS BASED UPON THE LATEST INFORMATION AVAILABLE FROM THE RESPECTIVE FRANCHISE UTILITY COMPANIES. IT IS INTENDED FOR PURPOSES OF GENERAL BIDDING AND BASIC CLARITY. SPECIFIC JOB SITE CONDITIONS SHALL BE FIELD VERIFIED PER NOTES 2 THROUGH 3 BELOW. THE FRANCHISE UTILITY CONTRACTOR ASSUMES ALL RESPONSIBILITY FOR SAID FIELD CONDITIONS AND ASSOCIATED REVISIONS REQUIRED BY THE RESPECTIVE UTILITY COMPANIES INVOLVED.
  - THE FRANCHISE UTILITY CONTRACTOR SHALL CONTACT THE RESPECTIVE FRANCHISE UTILITY COMPANIES, VERIFY ALL REQUIREMENTS AND EQUIPMENT, AND FURNISH AND INSTALL, INCLUDING BUT NOT LIMITED TO ALL METERS, TRANSFORMERS, CONDUIT, CONCRETE PADS, TRENCHING, AND BACKFILL NECESSARY FOR PROPER INSTALLATION. FRANCHISE UTILITY CONTRACTOR SHALL ALSO PAY ALL FEES AND CHARGES INCURRED AND COORDINATE WITH OTHER FRANCHISE UTILITY COMPANIES.
  - THE FRANCHISE UTILITY CONTRACTOR SHALL FIELD VERIFY, IN THE PRESENCE OF THE RESPECTIVE UTILITY COMPANIES



**STOP!**  
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DIG TESS  
1-800-DIG-TESS  
(at least 72 hours prior to digging)

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John Narboe Survey, Abstract No. 1078  
Willis Bledsoe Survey, Abstract No. 117

GARZA AVENUE  
(50' WIDTH R.O.W.)

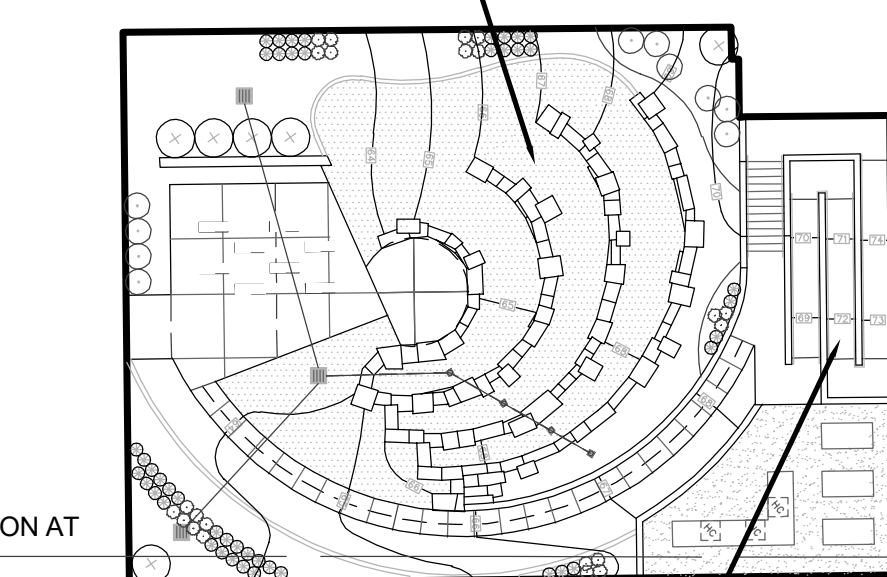
MATCHLINE

MARSALIS AVENUE  
(VARIABLE WIDTH R.O.W.)

OVERTON ROAD  
(VARIABLE WIDTH R.O.W.)

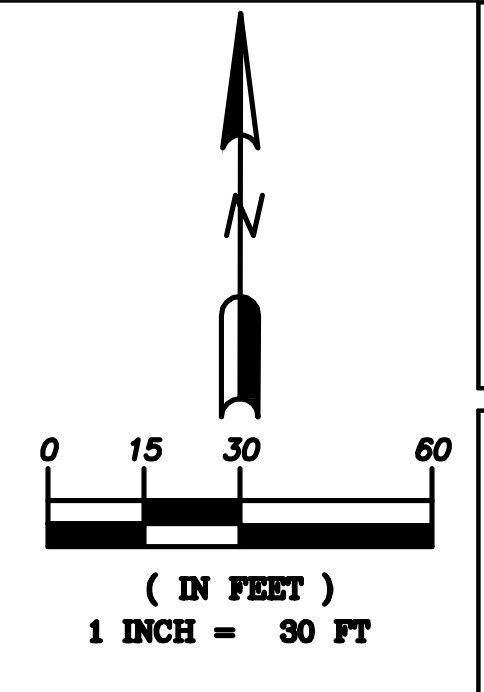
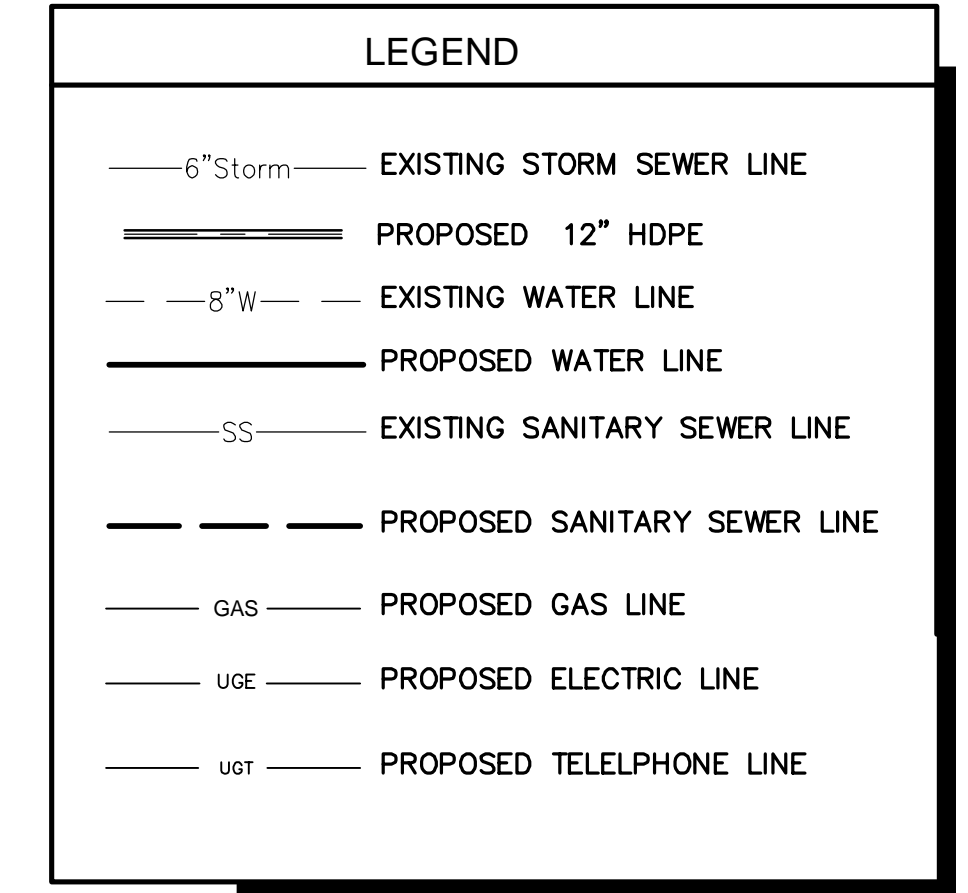
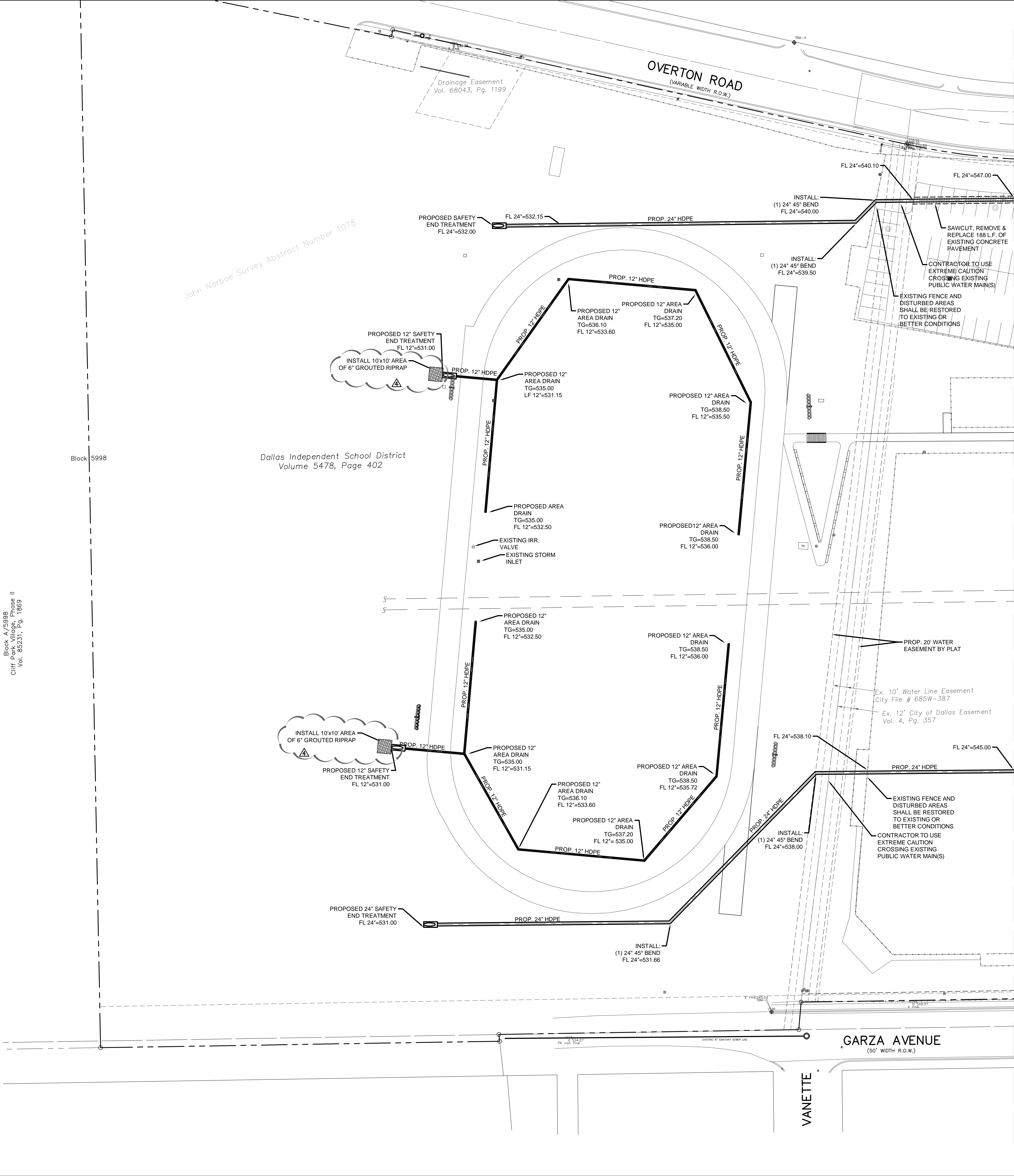
OAK CLIFF HS  
1,017,771 sq. ft  
23.365 Acres

Block 14/6000



IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ELEVATIONS OF EXISTING UTILITIES AT START OF CONSTRUCTION AND CONFIRM ADEQUACY OF SLOPES AND CLEARANCE AT UTILITY CROSSINGS.

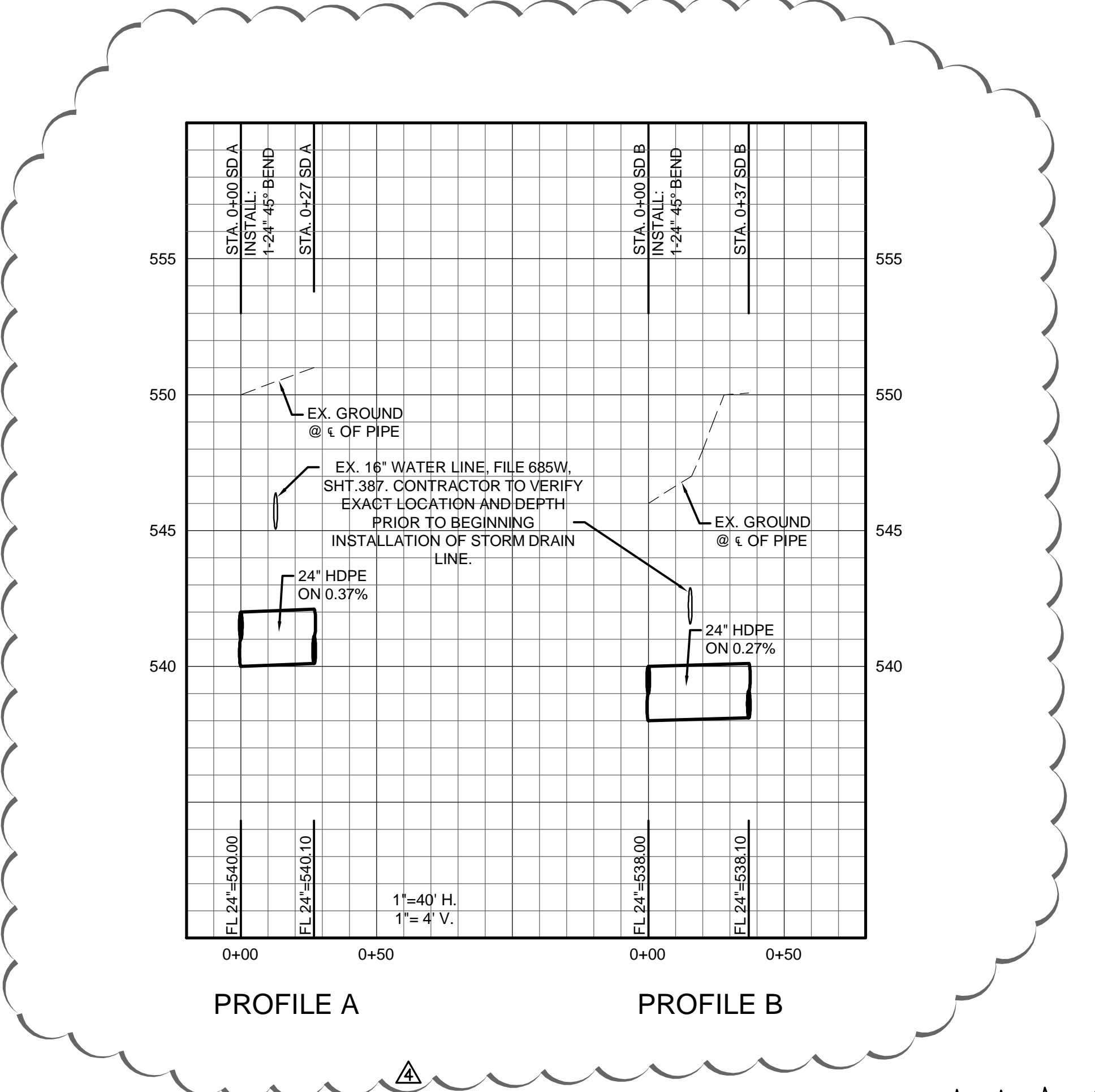




2-26-2018  
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 Dallas, TX 75208  
 F 214.742.0401  
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  - THE FRANCHISE UTILITY CONTRACTOR SHALL FIELD VERIFY, IN THE PRESENCE OF THE RESPECTIVE UTILITY COMPANIES



**CAUTION!!**  
 CONTRACTOR IS TO VERIFY PRESENCE AND EXACT LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY CONFLICTS.

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 DIG TESS  
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SOUTH OAK CLIFF HS - RENOVATION/ADDITION  
 BP-07  
 3601 S MARSALIS AVE, DALLAS, TX 75216

SHEET TITLE:  
 UTILITY & STORM DRAIN PLAN  
 ASINO. 1

MARK	DATE	DESCRIPTION
A	2.26.2018	AS #1

KAI TEXAS PROJECT NO.  
 10-16033  
 TOTAL SHEET SIZE IS 42" x 30"  
 ISSUE DATE  
 2-26-2018  
 SHEET NO.  
**C4.02**

Block A/5998  
 Cliff  
 Vol. 850231, Pg. 1869

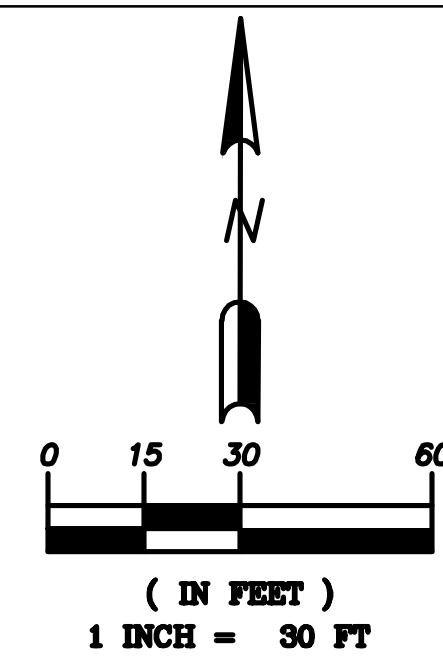
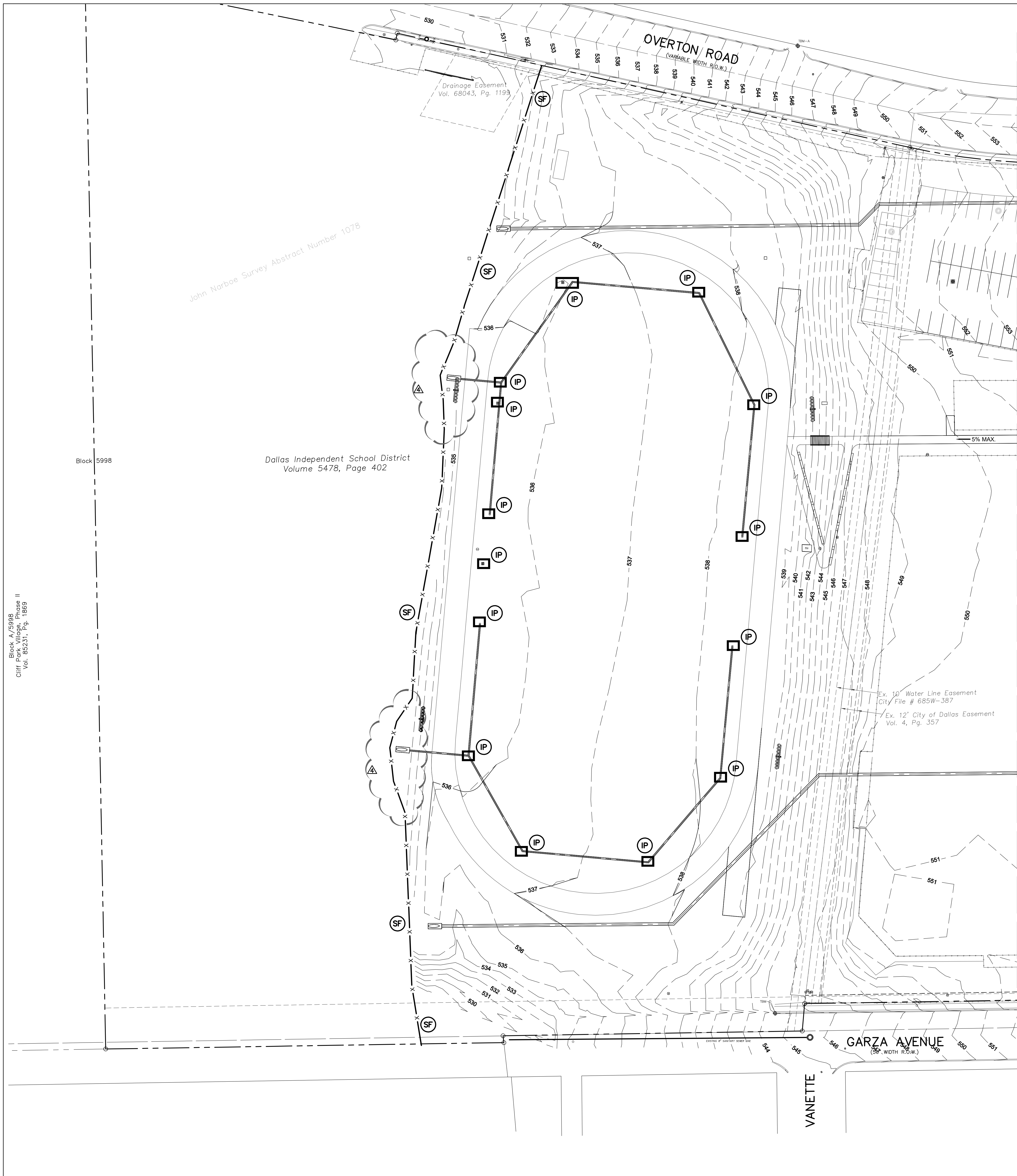
John Narboe Survey Abstract Number 1078

Dallas Independent School District  
 Volume 5478, Page 402

Block 5998

MATCHLINE





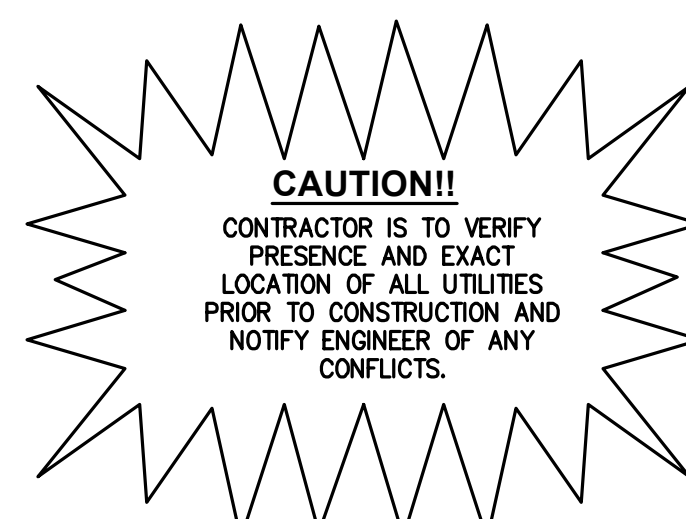
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Dallas, TX 75208  
Tel: 214.742.0400  
Fax: 214.742.0401  
www.katexas.com



—▲—	FLOW DIRECTION
- - -	PROPOSED CONTOURS
— — —	EXISTING CONTOURS
X	SILT FENCE
□	INLET PROTECTION
⊠	CONSTRUCTION ENTRANCE
—FS—	FILTERSOCK

**EROSION CONTROL NOTE:**  
EROSION CONTROL MEASURES MAY ONLY BE PLACED IN FRONT OF INLETS, IN CHANNELS, DRAINAGEWAYS OR BORROW DITCHES AT RISK OF CONTRACTOR. THE CONTRACTOR SHALL REMAIN LIABLE FOR ANY DAMAGE CAUSED BY THE MEASURES, INCLUDING FLOODING DAMAGE, WHICH MAY OCCUR DUE TO BLOCKED DRAINAGE. AT THE CONCLUSION OF ANY PROJECT, ALL CHANNELS, DRAINAGEWAYS AND BORROW DITCHES IN THE WORK ZONE SHALL BE DREDGED OF ANY SEDIMENT GENERATED BY THE PROJECT OR DEPOSITED AS A RESULT OF EROSION CONTROL MEASURES.

SOUTH OAK CLIFF HS - RENOVATION/ADDITION  
 BP-07  
 3601 S MARSALIS AVE, DALLAS, TX 75216



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ELEVATION = 574.68'

SHEET TITLE:  
 EROSION CONTROL PLAN  
 ASI NO. 1

MARK	DATE	DESCRIPTION
A	2.26.2018	AS #1

KAI TEXAS PROJECT NO.  
10-16033  
TOTAL SHEET SIZE IS 42" x 30"

ISSUE DATE  
2-26-2018

SHEET NO.  
**C5.02**





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**SOUTH OAK CLIFF HS - RENOVATION/ADDITION**  
BP-07  
3601 S MARSALIS AVE, DALLAS, TX 75216

SHEET TITLE:  
**SIGNAGE & PAVEMENT MARKING PLAN**  
ASIN NO. 1

MARK	DATE	DESCRIPTION
A	2.26.2018	ASIN #1

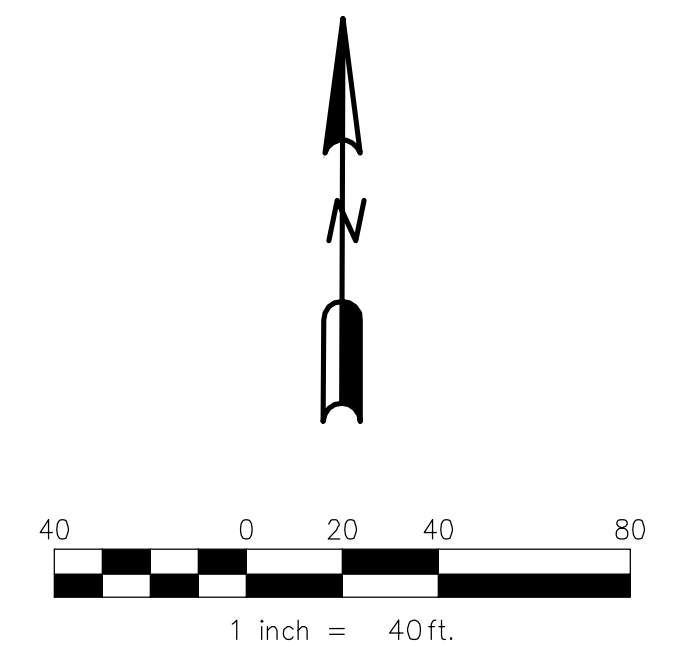
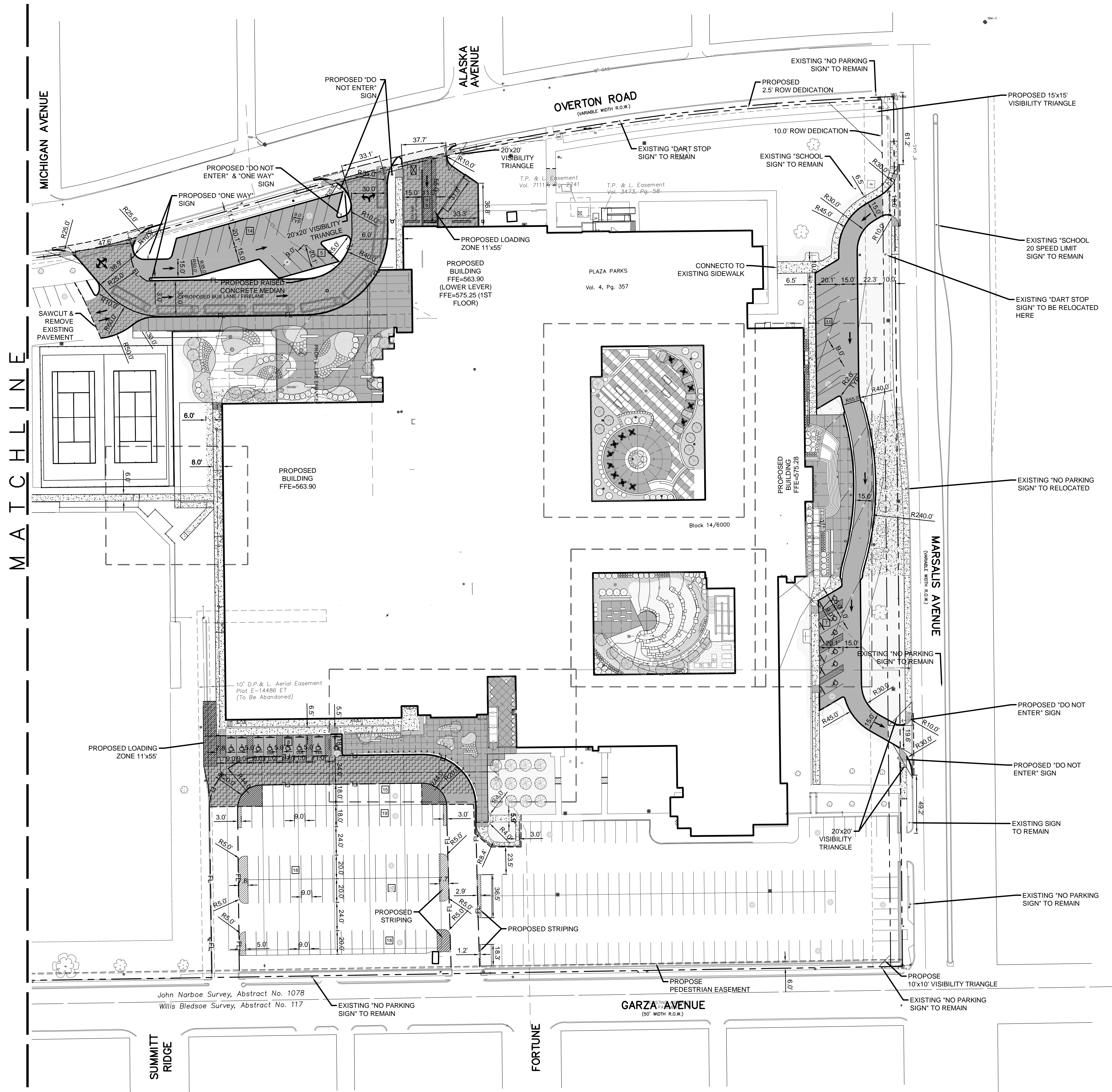
KAI TEXAS PROJECT NO.  
10-16033

TOTAL SHEET SIZE IS 42" x 30"

ISSUE DATE  
2-26-2018

SHEET NO.  
**C6.01**

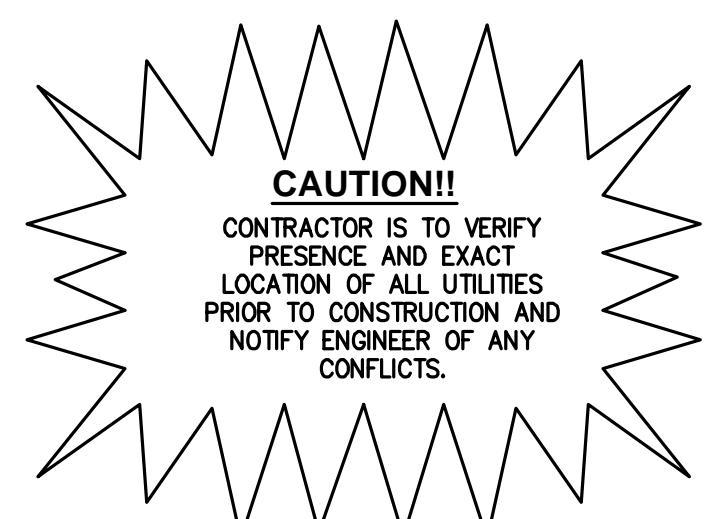
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**LEGEND**

	EXISTING CURB
	PROPOSED CURB
	PROPOSED FIRE LANE MARKING
	PARKING SPACES IN A ROW
	PROPOSED 4,500 REINFORCED CONCRETE PAVEMENT
	PROPOSED 7' REINFORCED, HEAVY DUTY CONCRETE PAVEMENT
	PROPOSED 5' REINFORCED, LIGHT DUTY CONCRETE PAVEMENT
	PROPOSED SIDEWALK PAVEMENT
	PROPOSED TRAFFIC ARROWS

- KEY NOTES**
1. ALL SIDEWALKS SHALL MAINTAIN A 2% MAXIMUM CROSS SLOPE AND 0.6% MAXIMUM IN THE DIRECTION OF PEDESTRIAN TRAVEL. ALL ADA SIDEWALKS SHOULD INCLUDE ALL LANINGS, MARKINGS, ETC AS REQUIRED BY CODE.
  2. APPLICATION WILL CONFORM TO THE CITY'S OUTDOOR LIGHTING REQUIREMENTS.
  3. ANY PROPOSED GROUND BASE EQUIPMENT SHALL BE SCREENED.
  4. REFERENCE ARCHITECTURAL PLANS FOR BUILDING DIMENSIONS.
  5. FIRE LANE SHALL BE CAPABLE OF SUPPORTING AN 80,000 LB. IMPROVED LOAD.
  6. THE SANITATION CONTAINER SCREENING WALLS SHALL BE BRICK MASONRY, STONE MASONRY, OR OTHER ARCHITECTURAL MASONRY FINISH, INCLUDING A METAL GATE, PRIME AND PAINTED, AND THE SANITATION CONTAINER SCREENING WALLS, GATE, AND PAD SITE SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY DESIGN SPECIFICATIONS.
  7. MECHANICAL AND HEATING AND AIR CONDITIONING EQUIPMENT IN NON-RESIDENTIAL USES SHALL BE SCREENED FROM VIEW OF PUBLIC RIGHT-OF-WAY AND FROM ADJACENT RESIDENTIAL PROPERTIES.
  8. SAWCUT LINES SHOWN ON THE DESIGN PLANS FOR THE REMOVAL AND REPLACEMENT OF CONCRETE PAVEMENT, DRIVES, SLABS, SIDEWALKS, ETC., ARE FOR INFORMATIONAL PURPOSES ONLY. IF PAVEMENT IS MORE THAN 5 YEARS OLD, THE PAVEMENT CUT AND REPAIR STANDARDS MANUAL MUST BE FOLLOWED. IF PAVEMENT IS 5 YEARS OLD OR LESS, THE ENTIRE CONCRETE PANEL MUST BE REPLACED.
  9. DEPARTMENT OF TRANSPORTATION TO REPLACE EXISTING "NO PARKING" SIGNS ALONG MARSALIS AVENUE.



**STOP!**  
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DIG TESS  
1-800-DIG-TESS  
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ELEVATION = 574.68'





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**SOUTH OAK CLIFF HS - RENOVATION/ADDITION**  
BP-07  
3601 S MARSALIS AVE, DALLAS, TX 75216

**SHEET TITLE:**  
SIGNAGE & PAVEMENT  
MARKING PLAN

**ASI NO. 1**

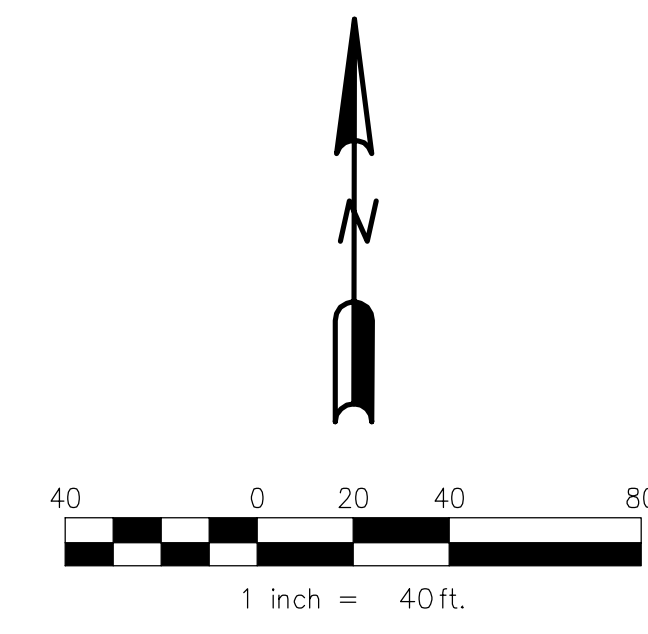
MARK	DATE	DESCRIPTION
A	2.26.2018	AS #1

KAI TEXAS PROJECT NO.  
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TOTAL SHEET SIZE IS 42" x 30"

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SHEET NO.  
**C6.02**



**LEGEND**

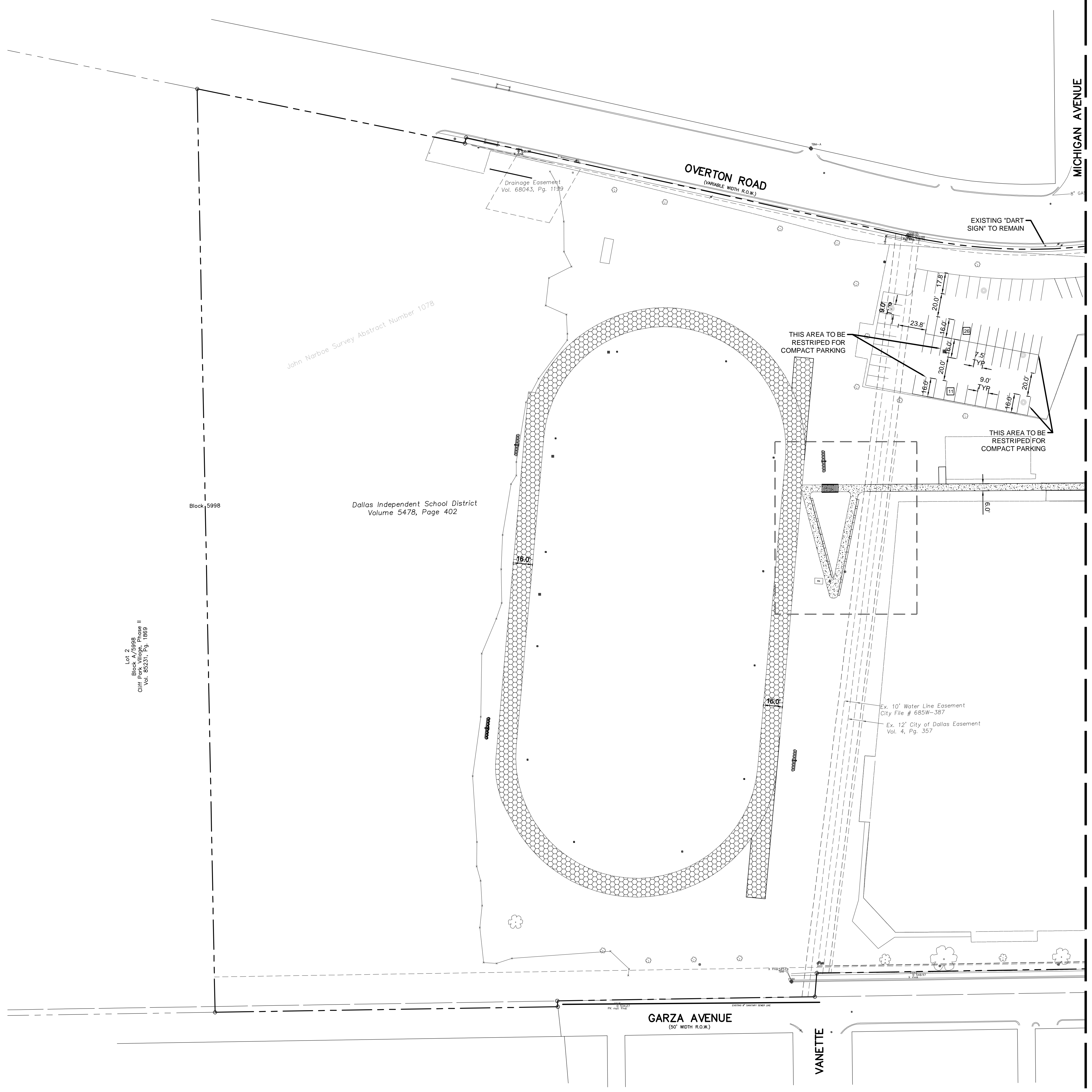
	EXISTING CURB
	PROPOSED CURB
	PROPOSED FIRE LANE MARKING
	PARKING SPACES IN A ROW
	PROPOSED 7" REINFORCED, HEAVY DUTY CONCRETE PAVEMENT
	PROPOSED 6" REINFORCED, LIGHT DUTY CONCRETE PAVEMENT
	PROPOSED SIDEWALK PAVEMENT
	PROPOSED RUNNING TRACK SURFACE, ASPHALT SURFACE COURSE
	PROPOSED TRAFFIC ARROWS

- KEY NOTES**
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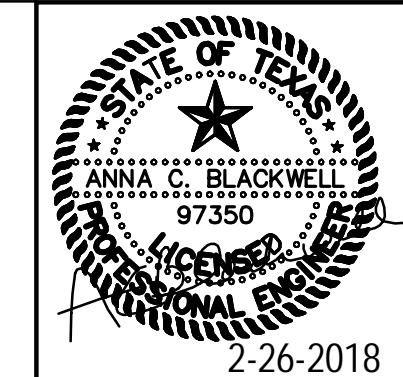
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Lot 7, 20098  
Blk. 5998  
Curt Park Village, Phase II  
Vol. 63231, Pg. 1089





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Dallas, TX 75208  
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**SOUTH OAK CLIFF HS - RENOVATION/ADDITION**  
BP-07  
3601 S MARSALIS AVE, DALLAS, TX 75216

SHEET TITLE: PRIVATE DETAILS  
ASINO.1

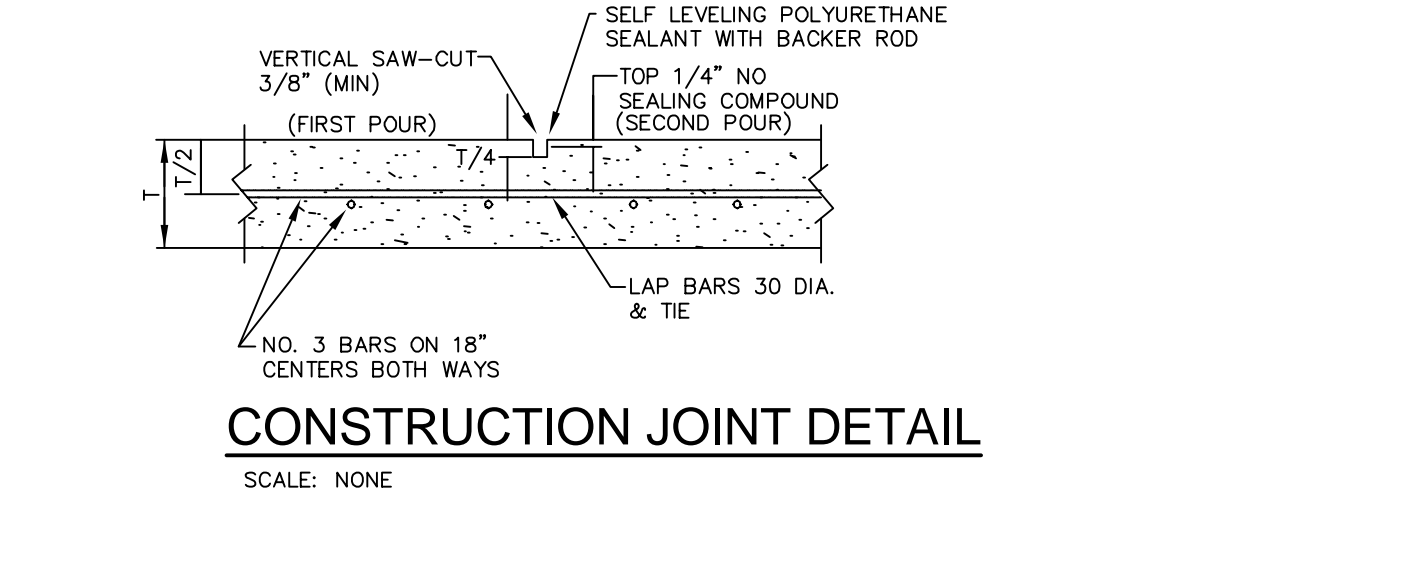
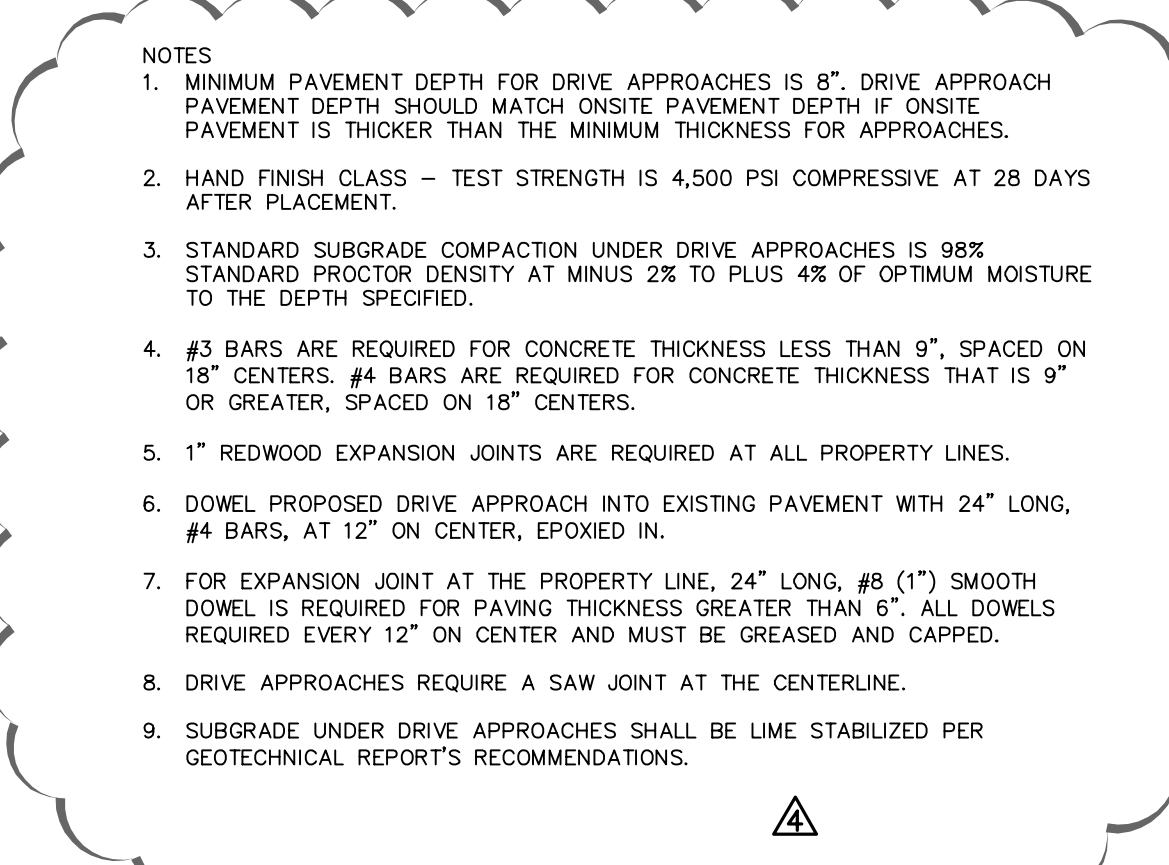
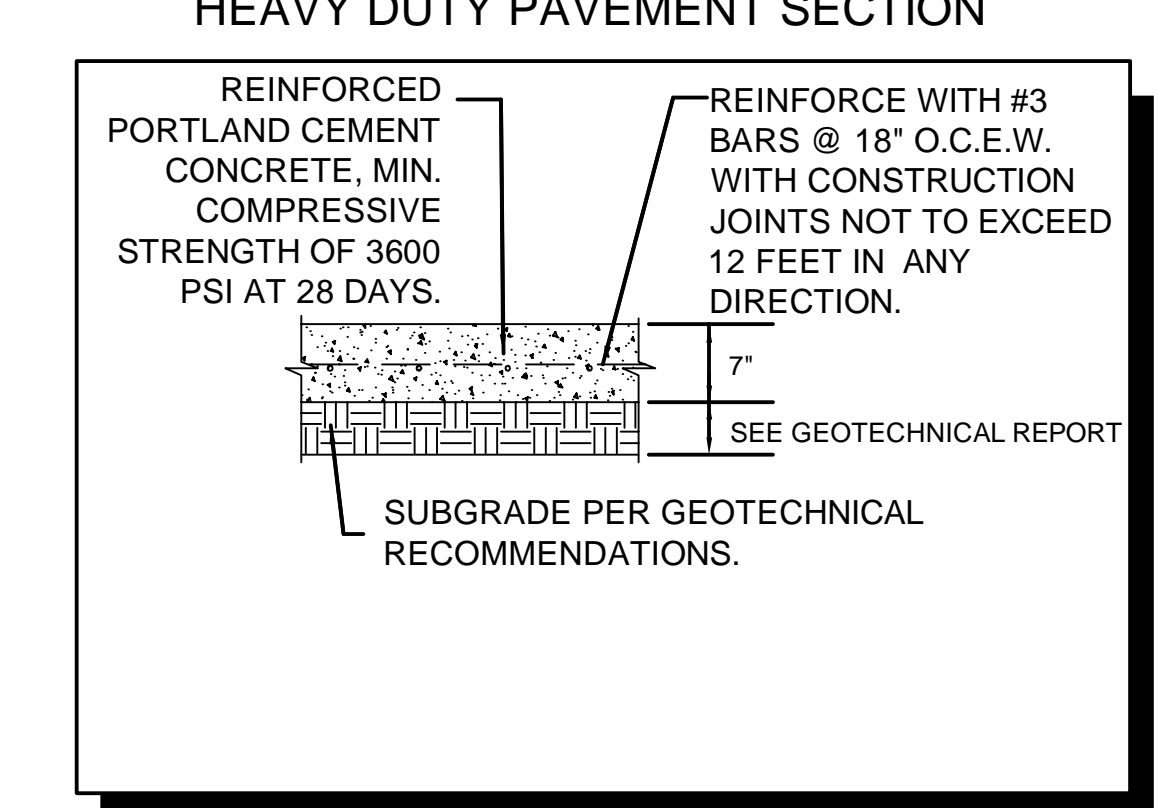
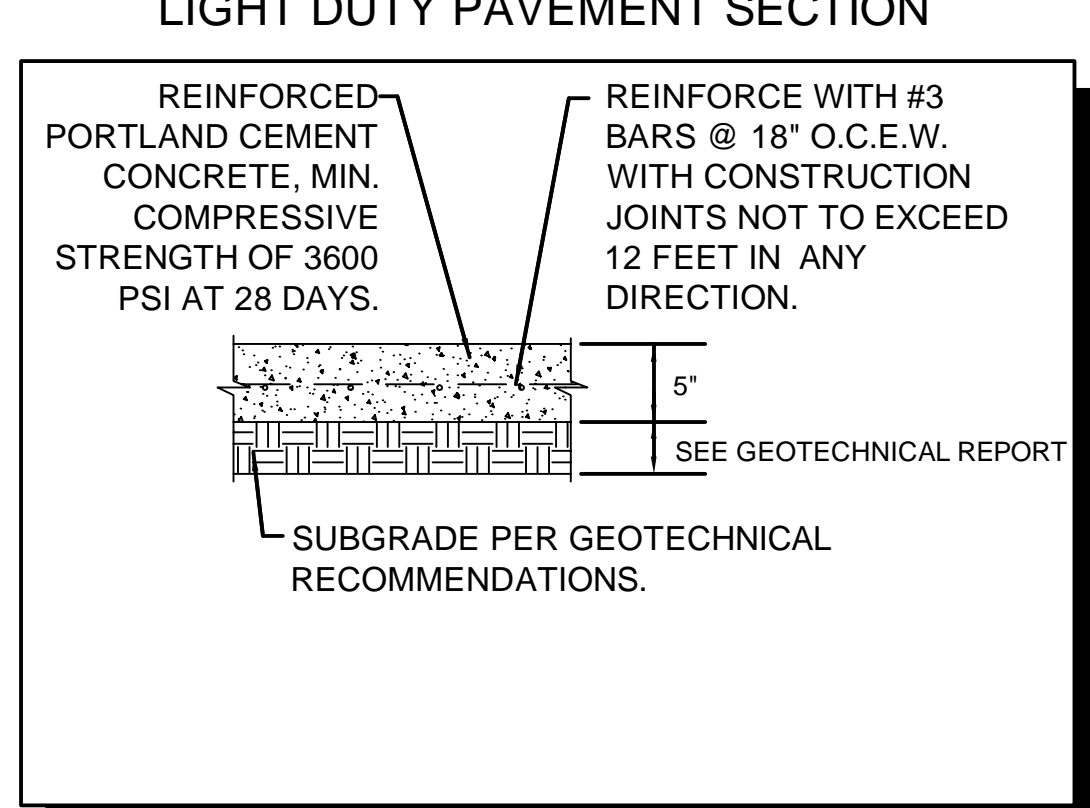
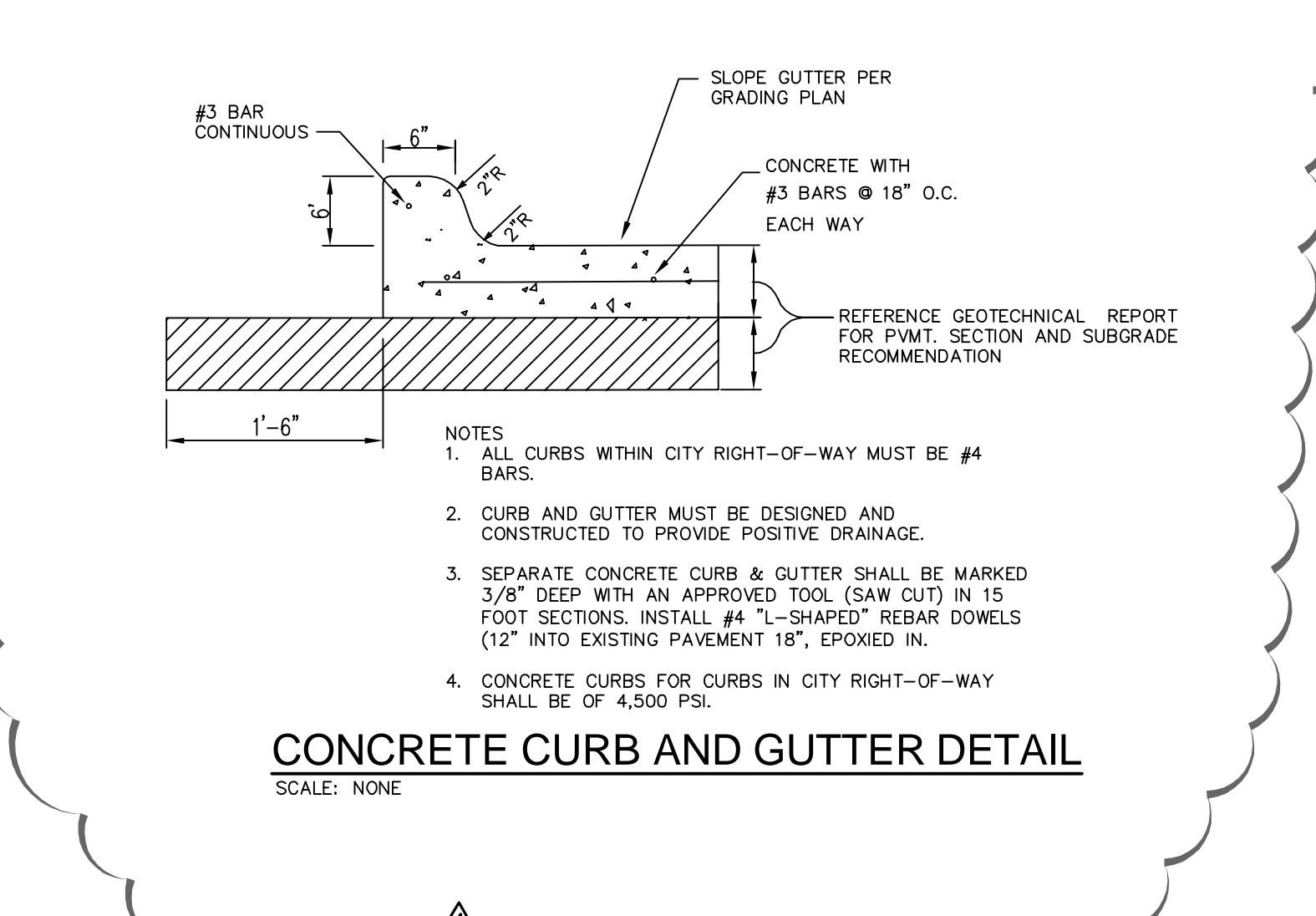
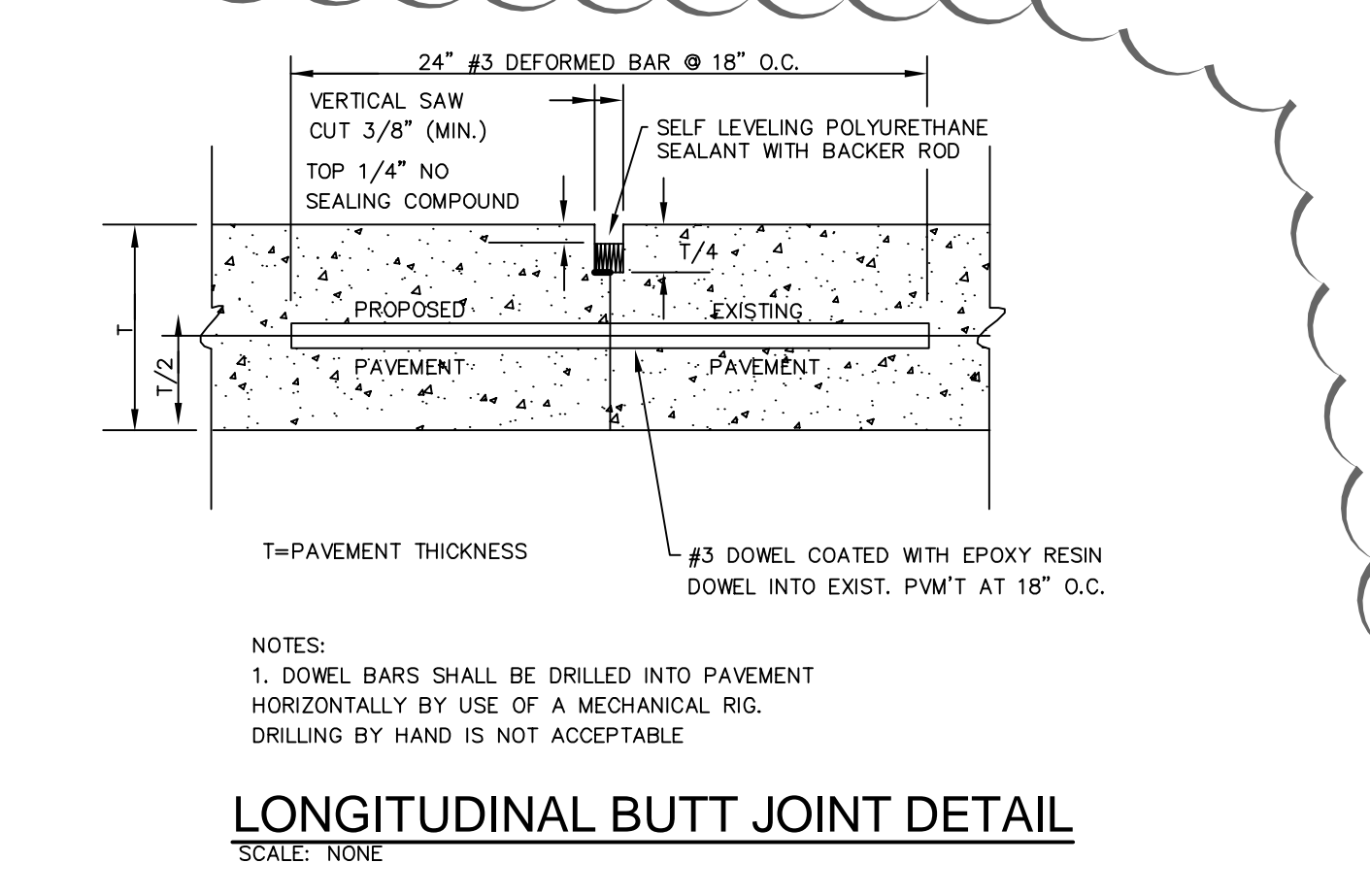
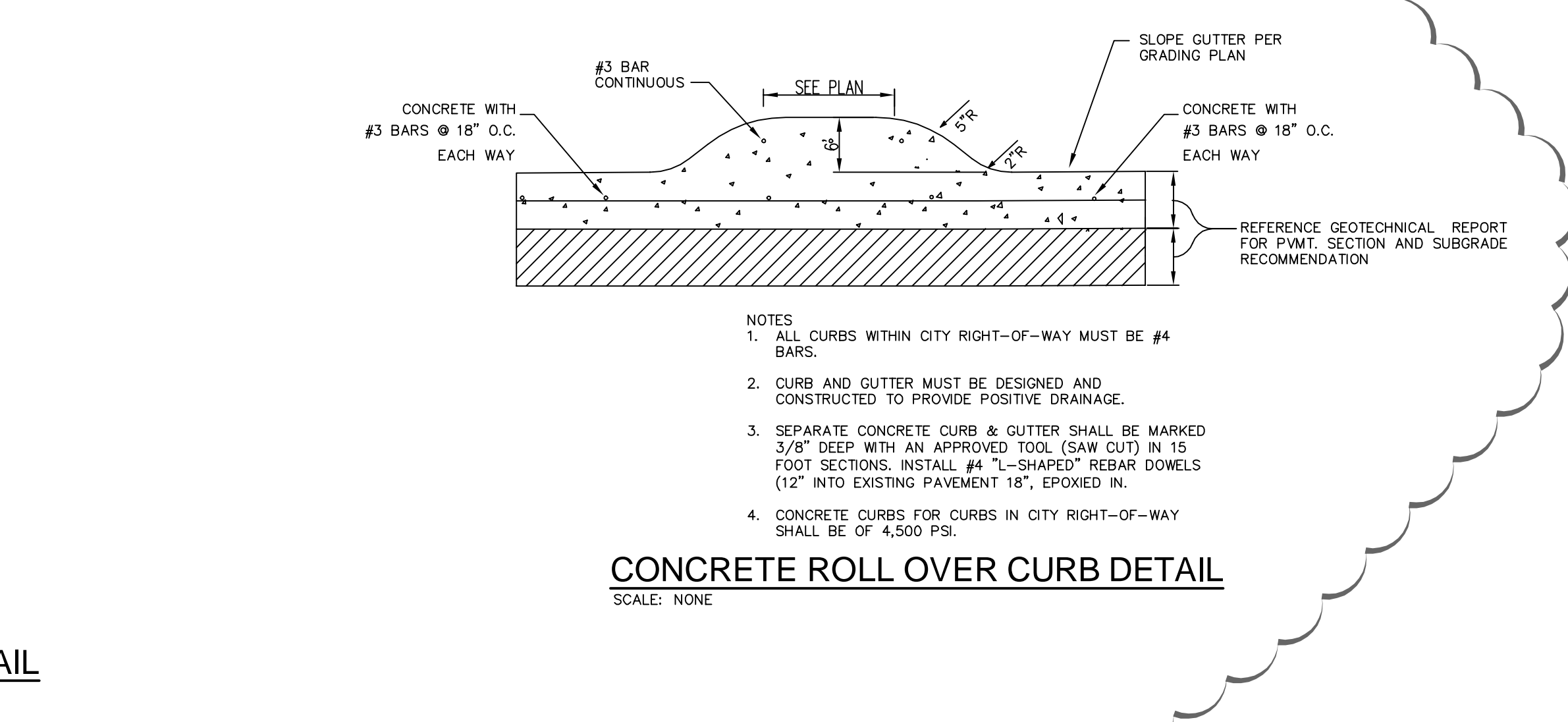
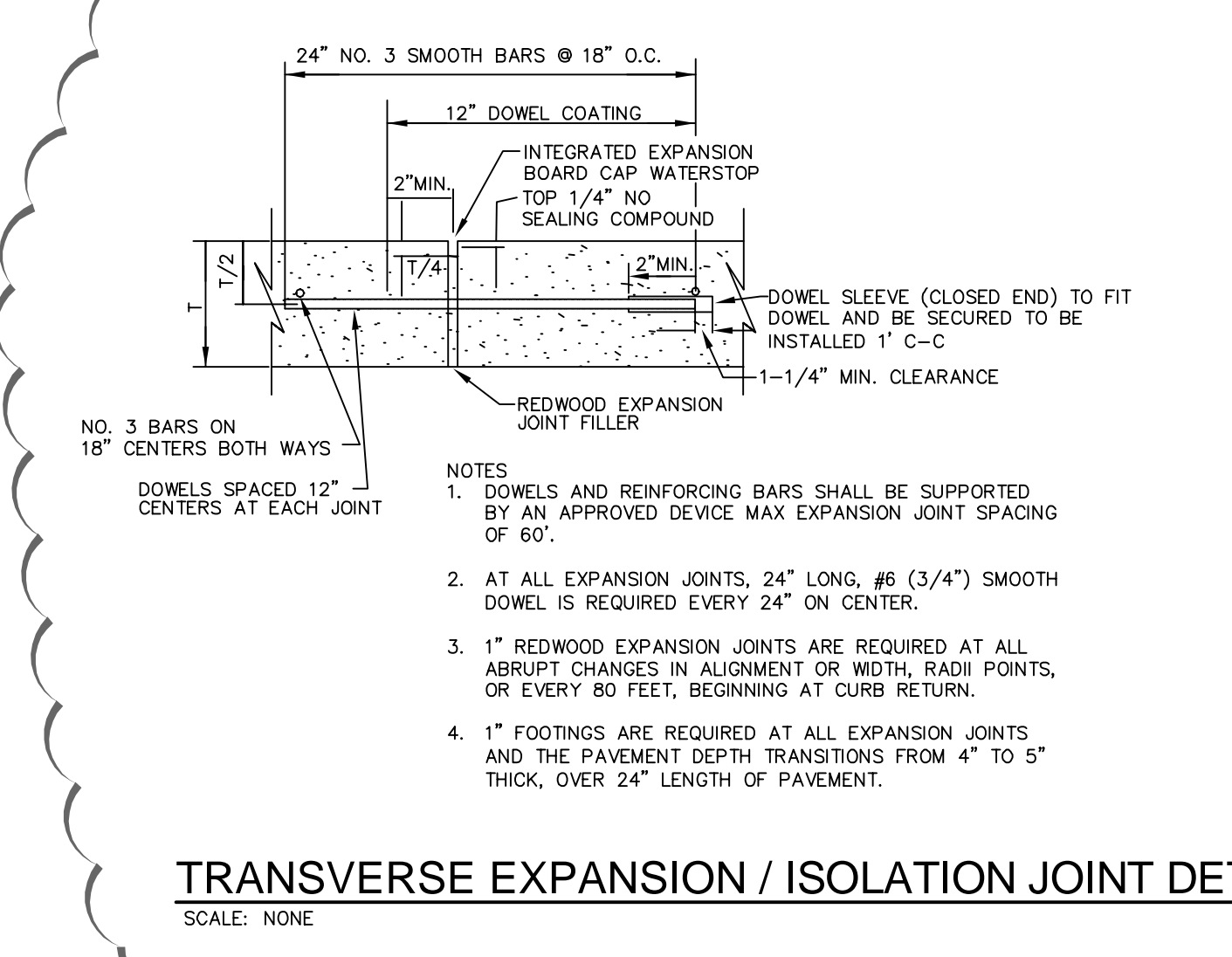
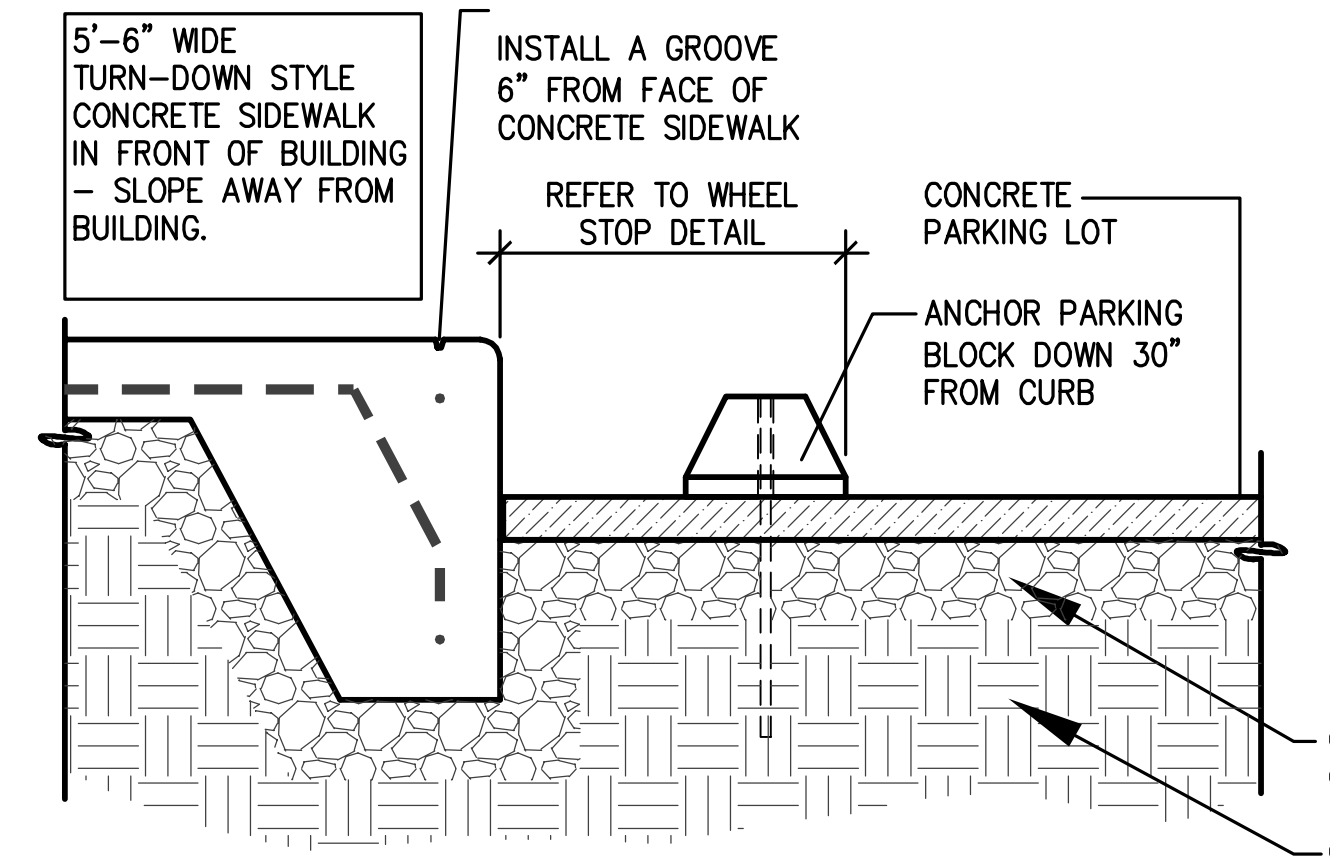
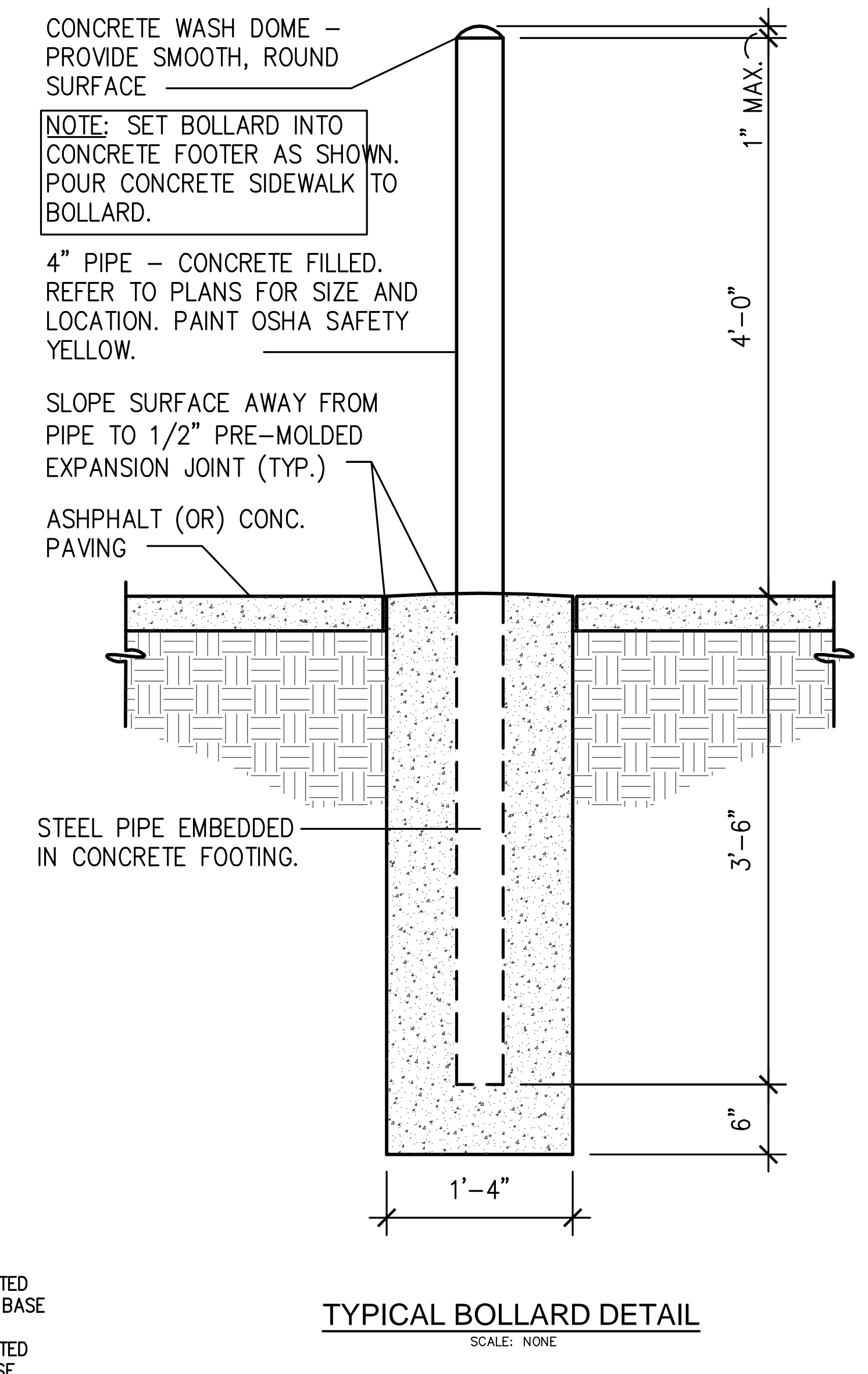
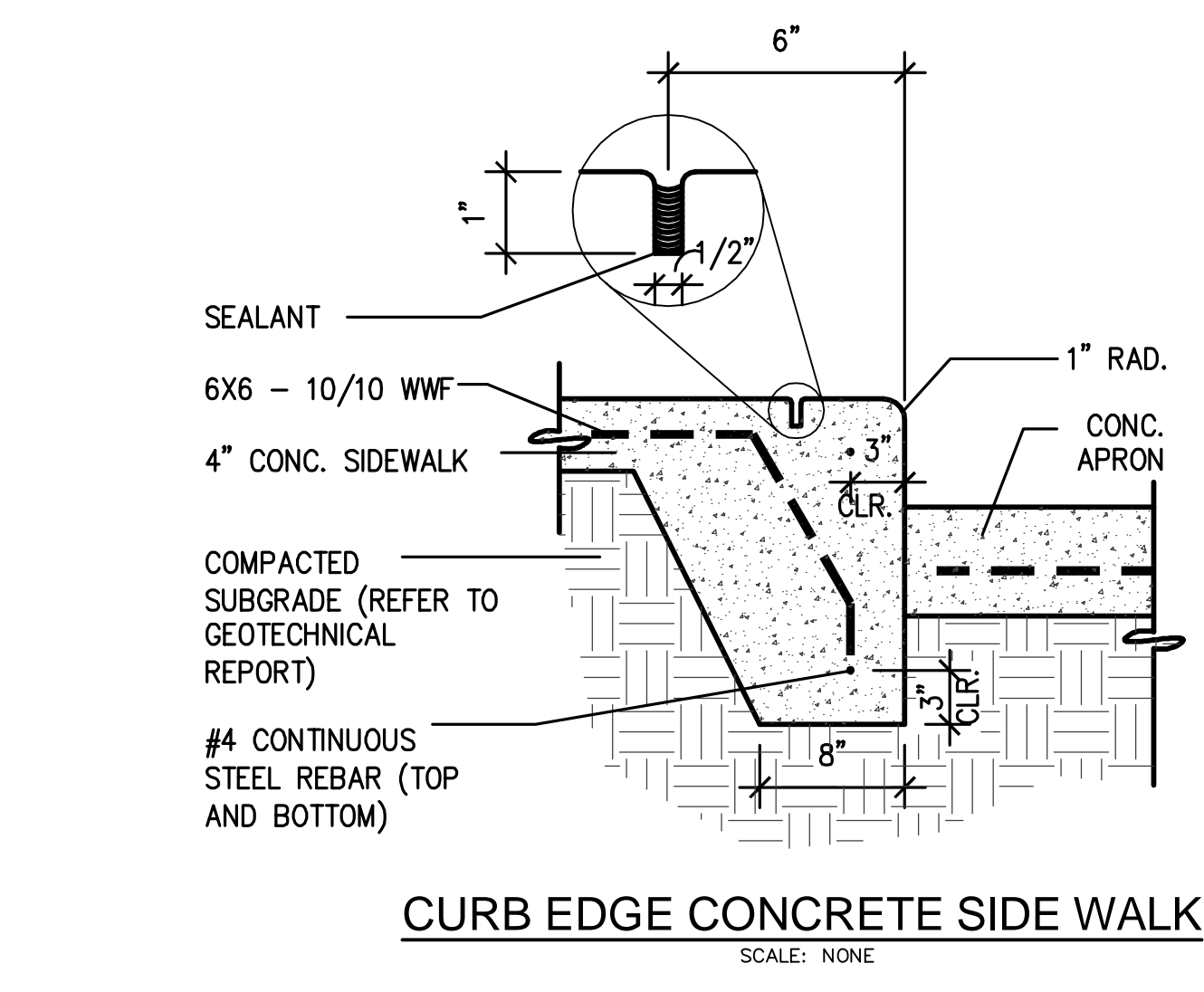
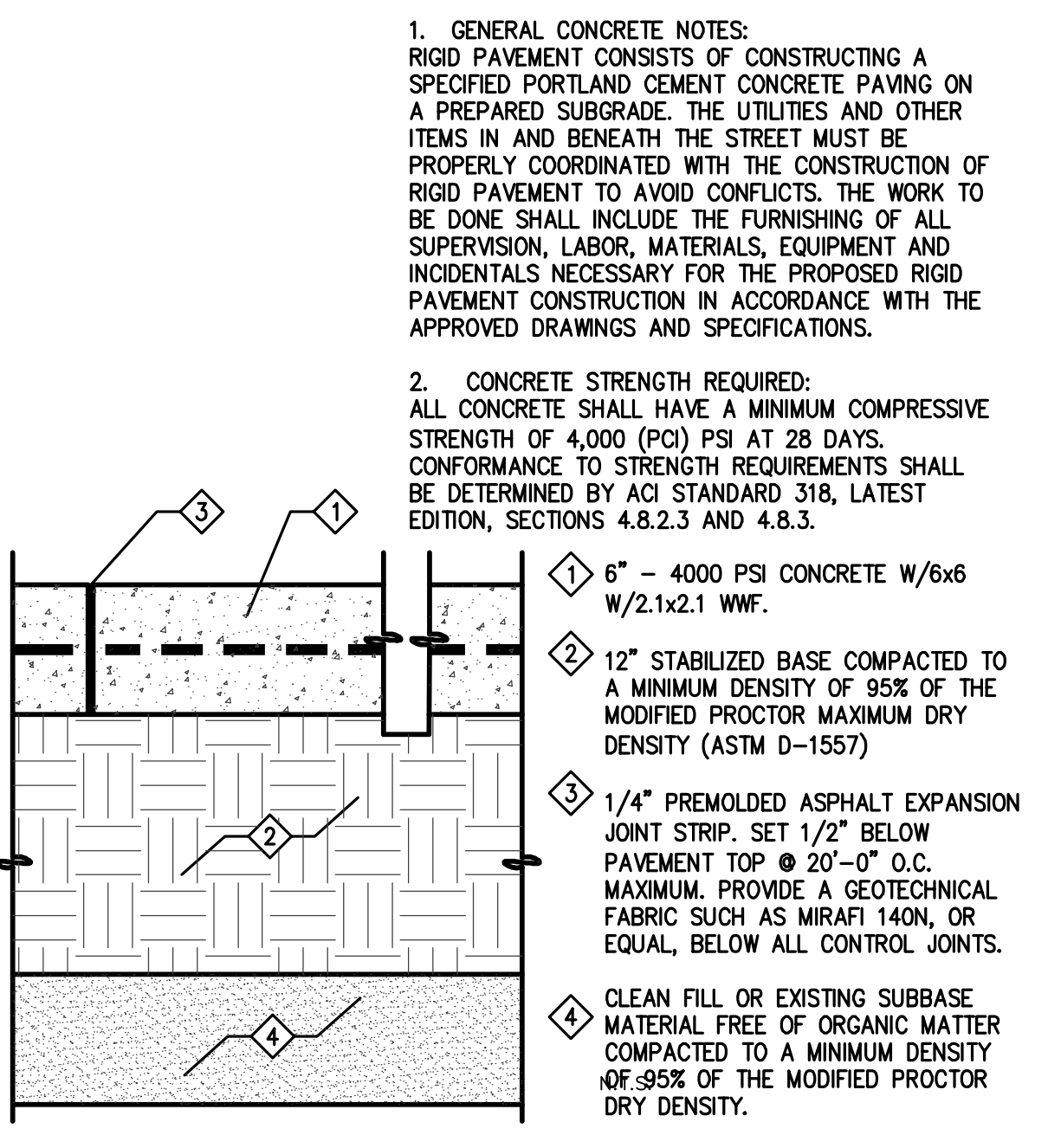
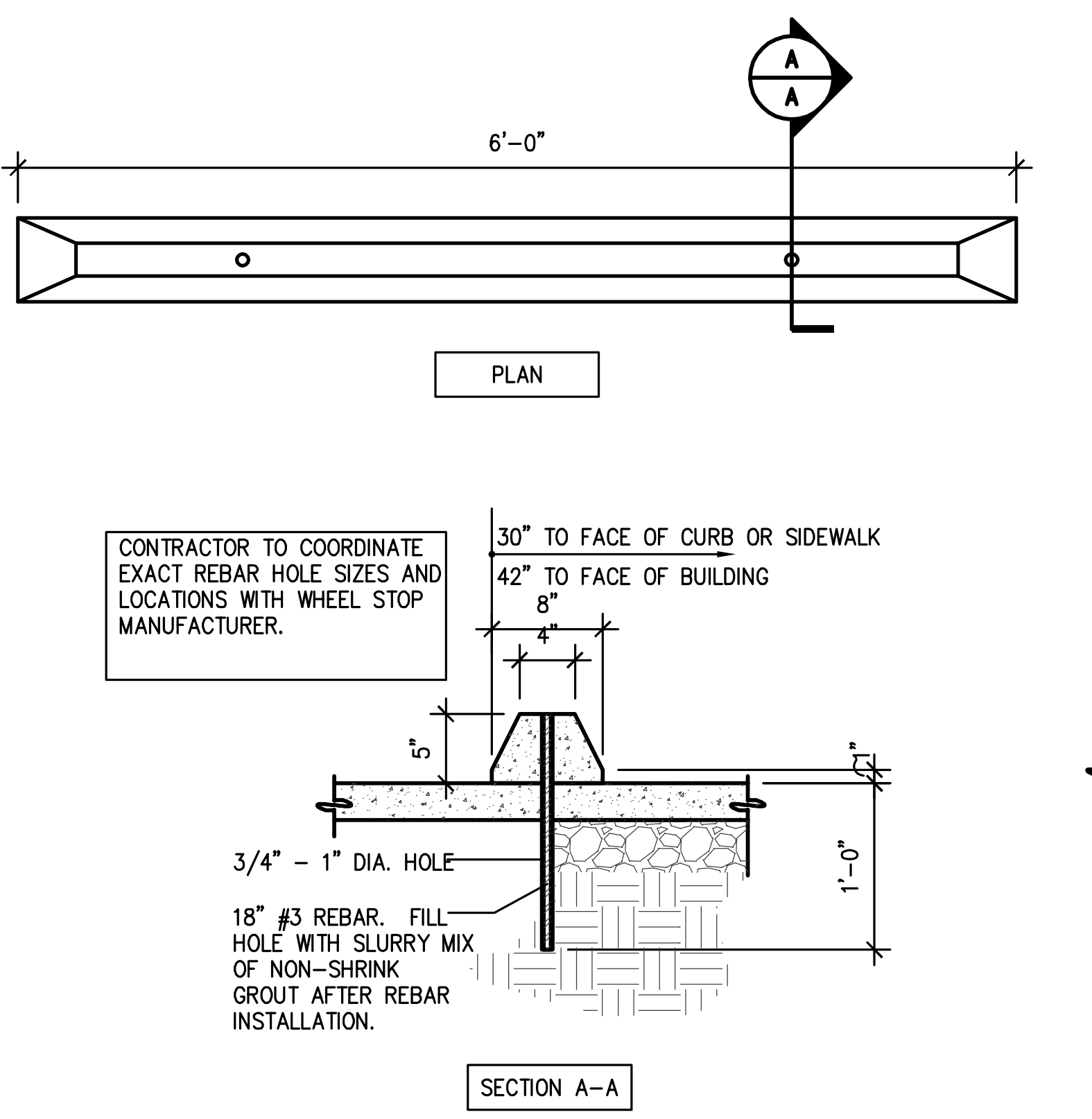
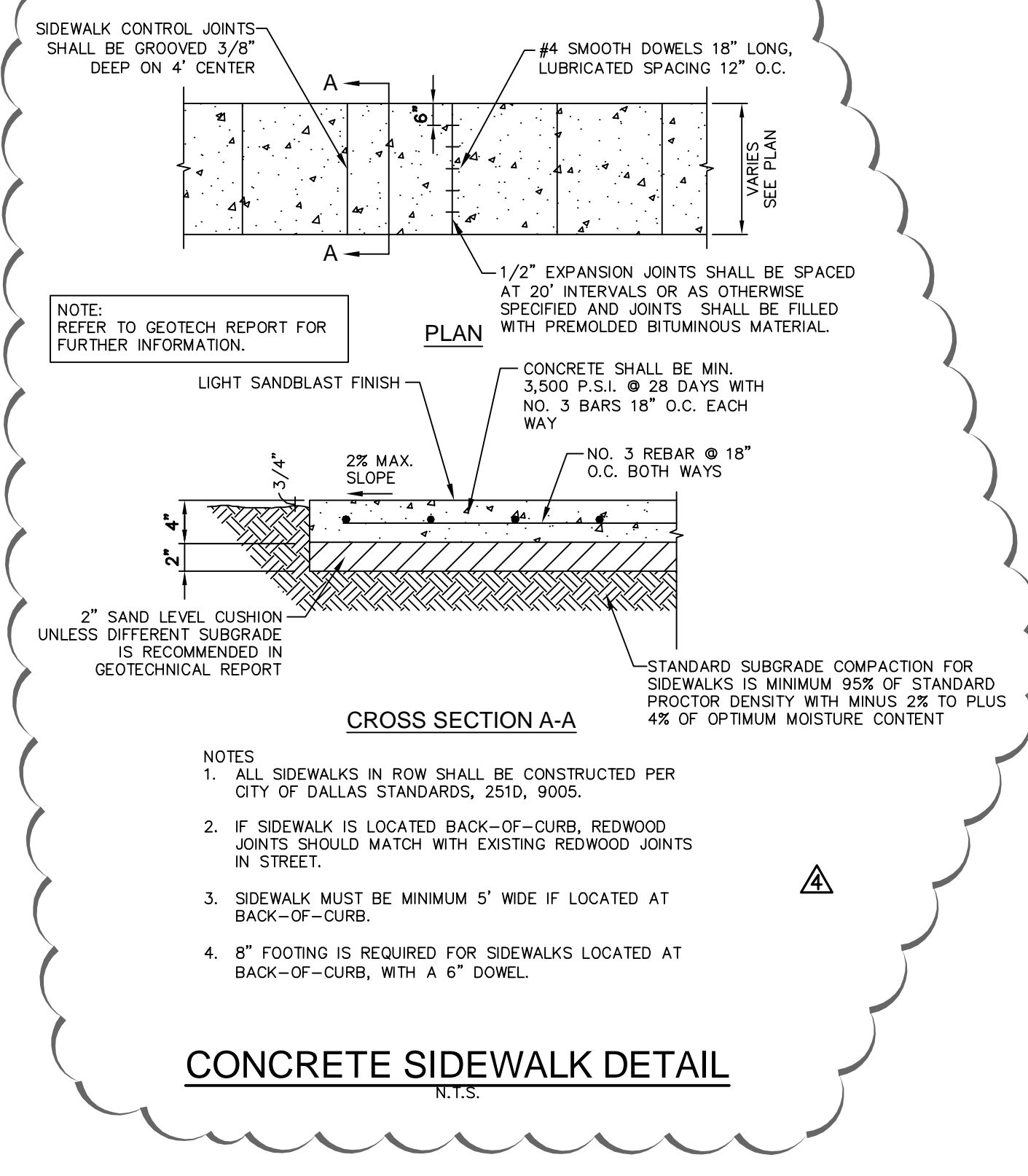
MARK	DATE	DESCRIPTION
▲	2-26-2018	AS #1

KAI TEXAS PROJECT NO. 10-16033  
TOTAL SHEET SIZE IS 42"x30"

ISSUE DATE 2-26-2018

SHEET NO. **C7.01**

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101 N. Zang Blvd.  
Dallas, TX 75208  
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www.katexas.com



**SOUTH OAK CLIFF HS - RENOVATION/ADDITION**  
BP-07  
3601 S MARSALIS AVE, DALLAS, TX 75216

SHEET TITLE:  
TXDOT RETAINING WALL DETAIL  
ASINO.1

MARK	DATE	DESCRIPTION
A	2.26.2018	AS #1

KAT TEXAS PROJECT NO.  
10-16033

TOTAL SHEET SIZE IS 42" x 30"

ISSUE DATE  
2-26-2018

SHEET NO.  
**C8.02**

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**H DEFINITION**

PROPERTIES		REINFORCING STEEL FOR ONE 32' PANEL (DESIGN A)																				QUANTITY FOR ONE 32' PANEL						
Wall Height (ft)	Wall Length (ft)	WALL DIMENSIONS										C										CONC (CY)	REIN (LBS)					
(ft)	(ft)	Fw	Tw	Sw	Hw	Ft	Kw	Y/SF	Lgth	WT	Lgth	WT	Lgth	WT	Lgth	WT	Lgth	WT	Lgth	WT	Lgth	WT	Lgth	WT	Lgth	WT	WT	WT
2	1-0"	8"	1'-0"	0"	9"	0.11																					6	197
3	2'-0"	1'-0"	1'-0"	0"	9"	0.15																					2	66
4	2'-8"	1'-4"	1'-0"	4"	1'-0"	0.21	3'-10"	104																			8	263
5	3'-0"	1'-8"	1'-0"	8"	1'-0"	0.23	5'-3"	142																			10	329
6	4'-3"	2'-2"	1'-0"	1'-11"	1'-0"	0.24	6'-8"	181																			12	399
7	5'-0"	2'-6"	1'-0"	1'-4"	1'-0"	0.27	8'-0"	217																			14	460
8	5'-6"	2'-10"	1'-0"	1'-10"	1'-0"	0.30	9'-4"	253																			16	524
9	6'-4"	3'-2"	1'-0"	2'-2"	1'-0"	0.33	10'-8"	284																			18	591
10	7'-0"	3'-6"	1'-0"	2'-6"	1'-0"	0.36	12'-0"	320																			20	658
11	7'-9"	3'-10"	1'-0"	2'-11"	1'-0"	0.39	13'-4"	362																			22	723
12	8'-6"	4'-3"	1'-0"	3'-3"	1'-0"	0.40	14'-8"	402																			24	788
13	9'-2"	4'-7"	1'-0"	3'-7"	1'-0"	0.43	16'-1"	436																			26	854
14	9'-10"	4'-11"	1'-0"	3'-11"	1'-0"	0.47	17'-5"	472																			28	919
15	10'-8"	5'-3"	1'-1"	4'-1"	1'-0"	0.50	18'-10"	511																			30	984
16	11'-2"	5'-7"	1'-2"	4'-5"	1'-1"	0.55	19'-2"	558																			32	1049
17	11'-10"	5'-11"	1'-3"	4'-7"	1'-1"	0.58	19'-5"	588																			34	1114
18	12'-4"	6'-5"	1'-4"	4'-11"	1'-1"	0.63	19'-3"	599																			36	1179
19	13'-0"	6'-9"	1'-5"	5'-3"	1'-1"	0.66	19'-3"	599																			38	1244
20	13'-10"	6'-11"	1'-6"	5'-4"	1'-1"	0.70	19'-3"	599																			40	1309
21	14'-4"	7'-3"	1'-7"	5'-8"	1'-1"	0.75	19'-3"	599																			42	1374
22	15'-2"	7'-7"	1'-8"	5'-10"	1'-1"	0.78	19'-3"	599																			44	1439
23	16'-0"	8'-1"	1'-9"	6'-2"	1'-1"	0.82	19'-3"	599																			46	1504
24	16'-8"	8'-5"	1'-10"	6'-4"	1'-1"	0.86	19'-3"	599																			48	1569
25	17'-5"	8'-9"	1'-11"	6'-6"	1'-1"	0.89	19'-3"	599																			50	1634
26	18'-0"	9'-0"	2'-0"	6'-10"	1'-1"	0.93	19'-3"	599																			52	1699
27	18'-8"	9'-4"	2'-1"	6'-10"	1'-1"	0.97	19'-3"	599																			54	1764
28	19'-3"	9'-5"	2'-2"	6'-11"	1'-1"	1.00	19'-3"	599																			56	1829
29	20'-0"	10'-0"	2'-3"	7'-2"	1'-1"	1.02	19'-3"	599																			58	1894
30	20'-8"	10'-4"	2'-4"	7'-2"	1'-1"	1.06	19'-3"	599																			60	1959
31	21'-5"	10'-7"	2'-5"	7'-2"	1'-1"	1.09	19'-3"	599																			62	2024
32	22'-0"	11'-0"	2'-6"	7'-5"	1'-1"	1.13	19'-3"	599																			64	2089

Wall Height (ft)

Wall Length (ft)

**SECTIONS**

**PARTIAL WALL ELEVATIONS**

**GENERAL NOTES**

- Place vertical bars inside of horizontal bars (lap both faces).
- Place footing toe against undisturbed soil.
- See standard #2 for size.

Panel Length minus 6"

Panel Length = 32' is standard; 28' requires special quantities.

Average Height "H" of panel.

Design "A" for surcharge or slope above wall.

B = slopes up to 4:1.

C = traffic surcharge and/or slopes up to 2.5:1.

Footing pressure distribution "L" low, "H" high.

**RETAINING WALLS**

RW 1/LJA

DATE: 2/26/2018

TIME: 10:00 AM

PROJECT: SOUTH OAK CLIFF HS - RENOVATION/ADDITION

SHEET: C8.02